

DATE:

I, CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

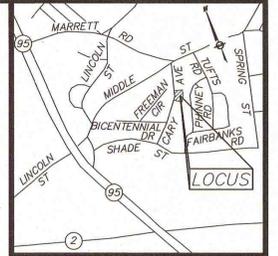


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

TEMPORARY BENCHMARK CHART:

TBM #	DESCRIPTION	ELEV.
1	BOLT OVER MAIN OUTLET HYDRANT	277.65
2	CUT SPIKE SET 1.5' A.G. IN UTILITY POLE 30/10	274.80

(SEE NOTE #7)



LOCUS MAP: (NOT TO SCALE)

LEGEND

- TREELINE
- 278 — TWO FOOT CONTOUR
- 280 — TEN FOOT CONTOUR
- + 279.8 — SPOT ELEVATION
- — — BITUMINOUS BERM
- — — STONE WALL
- CONIFEROUS TREE
- DECIDUOUS TREE
- D — DRAIN LINE
- OHW — OVERHEAD WIRES
- G — COMPILED GAS LINE
- GS — COMPILED GAS SERVICE
- TEC — COMPILED TELEPHONE/ELECTRIC/CABLE
- S — COMPILED SEWER LINE
- SS — COMPILED SEWER SERVICE
- W — COMPILED WATER LINE
- WS — COMPILED WATER SERVICE
- — — TERMINUS UNKNOWN
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN/AREA DRAIN
- WATER GATE
- HYDRANT
- UTILITY POLE
- ELECTRIC METER
- GAS METER
- LIGHT
- GAS GATE
- IRRIGATION CONTROL VALVE
- TEST PIT
- TYP. S.F.
- AC. ACRES
- A.G. ABOVE GRADE
- OH OVERHANG
- MB MAILBOX
- EOP EDGE OF PAVEMENT
- BB BITUMINOUS BERM
- BIT. BITUMINOUS
- CONC. CONCRETE
- RCP REINFORCED CONCRETE PIPE
- FFF FINISHED FIRST FLOOR
- FOF FINISHED GARAGE FLOOR
- VC VITRIFIED CLAY
- — — COMMON OWNERSHIP

NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE INSTRUMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 22 AND MARCH 22, 2002, SEPTEMBER 2, 2009, AND SEPTEMBER 10 THROUGH SEPTEMBER 12, 2014.
- THE SUBJECT PROPERTIES DEPICTED ARE LOCATED IN THE RS DISTRICT (SINGLE FAMILY DWELLING).
- THE SUBJECT PROPERTIES ARE DEPICTED AS LOTS 34A, 34B, 35, 36A & 36B ON TOWN OF LEXINGTON ASSESSOR'S MAP 34.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE SUBJECT PROPERTIES ARE LOCATED WITHIN FLOOD ZONE X (UNSHADED) AS IDENTIFIED ON FLOOD INSURANCE RATE MAPS (FIRM) NO. 250170D41E AND NO. 250170C392E AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON THE TOWN OF LEXINGTON SEWER DATUM.

APPLICANT:

SHELDON CORP.
TODD CATALDO
121 MARRETT ROAD
LEXINGTON, MA 02421

REFERENCES:

— LAND COURT PLAN 6962-A
— LAND COURT PLAN 6962-C

RECORD OWNERS:

#36 CARY AVENUE (MAP 34 LOT 34A & 34B)
COLE FAMILY TRUST
JOHN P. ROGARIS, TRUSTEE
CERTIFICATE NO. 257521
REGISTRATION BOOK 1459, PAGE 30

#42 CARY AVENUE (MAP 34 LOT 35)
ROBERT E. SMITH, JR.
4 CURRIER COURT
LEXINGTON MA 02420
CERTIFICATE NO. 256163
REGISTRATION BOOK 01449, PAGE 142

#48 CARY AVENUE (MAP 34 LOT 36B)
CAZ REALTY TRUST
JACQUELINE D. FALLON, TRUSTEE
168 GRANT STREET,
LEXINGTON, MA 02420
CERTIFICATE NO. 236774
REGISTRATION BOOK 1320, PAGE 20

#49 CARY AVENUE (MAP 34 LOT 36A)
VASILIKI REALTY TRUST
THOMAS J. CATALDO, TRUSTEE
48 CARY AVENUE
LEXINGTON, MA 02420
CERTIFICATE NO. 245789
REGISTRATION BOOK 1380, PAGE 24

WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 34B, 35, 36A & 36B)
DEFINITIVE SUBDIVISION



RECORD CONDITIONS PLAN OF LAND
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
SHELDON CORP.
SCALE: 1" = 30' DATE: NOVEMBER 17, 2014

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447 WWW.MERIDIANSASSOC.COM

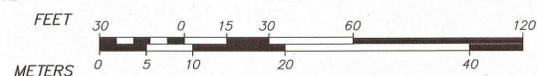
SHEET No. 2 OF 12 PROJECT No. 3899-1

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D
1	2/4/15	NO REVISIONS TO THIS SHEET	MAC	M/JN

DWG. No. 3899-1_DEF-REC
NB 610 PG 79

GRAPHIC SCALE
SCALE 1"=30'



TEST PIT INFORMATION

TEST PITS WERE PERFORMED BY PETER POMMERSHEIM OF MERIDIAN ASSOCIATES, ON 10/16/08.

TEST PIT: TP#4
ELEV.=278.4±
E.S.H.G.W. ELEV.=271.1

0"-8" TOPSOIL
8"-40" HORIZON A: FINE SANDY LOAM + GRAVEL
40"-118" HORIZON B: FINE SANDY LOAM
HORIZON C: FINE SANDY LOAM

E.S.H.G.W. @ 88"

TEST PIT: TP#5
ELEV.=278.9±
E.S.H.G.W. ELEV.=273.2

0"-4" TOPSOIL
4"-11" HORIZON A: FINE SANDY LOAM
11"-108" HORIZON B: FINE SANDY LOAM
HORIZON C: FINE SANDY LOAM

E.S.H.G.W. @ 68"

TEST PIT: TP#6
ELEV.=280.5±
E.S.H.G.W. ELEV.=274.3

0"-4" HORIZON A: FINE SANDY LOAM
4"-22" HORIZON B: FINE SANDY LOAM
22"-114" HORIZON C: FINE SANDY LOAM

E.S.H.G.W. @ 74"

TEST PIT: TP#7
ELEV.=283.6±
E.S.H.G.W. ELEV.=277.4

0"-4" HORIZON A: FINE SANDY LOAM
4"-24" HORIZON B: FINE SANDY LOAM
24"-114" HORIZON C: LOAMY SAND

E.S.H.G.W. @ 75"

TEST PIT: TP#8
ELEV.=278.3±
E.S.H.G.W. ELEV.=272.5

0"-4" HORIZON A: FINE SANDY LOAM
4"-24" HORIZON B: FINE SANDY LOAM
24"-70" HORIZON C: FINE SANDY LOAM

E.S.H.G.W. @ 70"

TEST PIT: TP#9
ELEV.=280.1±
E.S.H.G.W. ELEV.=272.5

0"-8" TOPSOIL
8"-24" HORIZON A: FINE SANDY LOAM
24"-100" HORIZON B: FINE SANDY LOAM
HORIZON C: FINE SANDY LOAM

E.S.H.G.W. @ 70"

ADDITIONAL TEST PIT INFORMATION

TEST PITS WERE PERFORMED BY ALEXANDER F. PARKER (S.E. #1848), ON 9/22/14.

TEST PIT: TP#14-1
ELEV.=275±
E.S.H.G.W. ELEV.=269.6

0"-13" HORIZON A: LOAM
13"-24" HORIZON B: SANDY LOAM
24"-121" HORIZON C: LOAMY SAND

E.S.H.G.W. @ 65"

TEST PIT: TP#14-2
ELEV.=279±
E.S.H.G.W. ELEV.=273.3

0"-13" HORIZON A: LOAM
13"-39" HORIZON B: SANDY LOAM
39"-127" HORIZON C: LOAMY SAND

E.S.H.G.W. @ 68"

TEST PIT: TP#14-3
ELEV.=285.5±
E.S.H.G.W. — NONE OBSERVED

0"-12" HORIZON A: LOAM
12"-25" HORIZON B: SANDY LOAM
25"-123" HORIZON C: LOAMY SAND

E.S.H.G.W. — NONE OBSERVED

TEST PIT: TP#14-4
ELEV.=289±

0"-2" HORIZON A: LOAM
2"-10" HORIZON B: SANDY LOAM
10"-120" HORIZON C: LOAMY SAND

E.S.H.G.W. — NONE OBSERVED

TEST PIT: TP#14-5
ELEV.=287±

0"-9" HORIZON A: LOAM
9"-25" HORIZON B: SANDY LOAM
25"-121" HORIZON C: LOAMY SAND

E.S.H.G.W. — NONE OBSERVED

TEST PIT: TP#14-6
ELEV.=282.2±
E.S.H.G.W. ELEV.=273.5

0"-11" HORIZON A: LOAM
11"-21" HORIZON B: SANDY LOAM
21"-120" HORIZON C: LOAMY SAND

E.S.H.G.W. @ 105"

DATE: _____

DATE: _____

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TOWN CLERK

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E.S.H.G.W. ELEV.=271.1

0"-8" TOPSOIL
8"-40" FILL: FINE SANDY LOAM + GRAVEL
40"-118" HORIZON C: FINE SANDY LOAM
E.S.H.G.W. @ 88"

TEST PIT: TP#5
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E.S.H.G.W. ELEV.=273.2

0"-4" HORIZON A: TOPSOIL
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E.S.H.G.W. @ 68"

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E.S.H.G.W. @ 74"

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E.S.H.G.W. @ 75"

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E.S.H.G.W. ELEV.=272.5

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24"-70" HORIZON C: FINE SANDY LOAM
E.S.H.G.W. @ 70"

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0"-8" TOPSOIL
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ADDITIONAL TEST PIT INFORMATION

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ELEV.=275±
E.S.H.G.W. ELEV.=269.6

0"-13" HORIZON A: LOAM
13"-24" HORIZON B: SANDY LOAM
24"-121" HORIZON C: LOAMY SAND
E.S.H.G.W. @ 65"

TEST PIT: TP#14-2
ELEV.=279±
E.S.H.G.W. ELEV.=273.3

0"-13" HORIZON A: LOAM
13"-39" HORIZON B: SANDY LOAM
39"-127" HORIZON C: LOAMY SAND
E.S.H.G.W. @ 68"

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E.S.H.G.W. - NONE OBSERVED

TEST PIT: TP#14-4
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10"-120" HORIZON C: LOAMY SAND
E.S.H.G.W. - NONE OBSERVED

TEST PIT: TP#14-5
ELEV.=287±

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E.S.H.G.W. - NONE OBSERVED

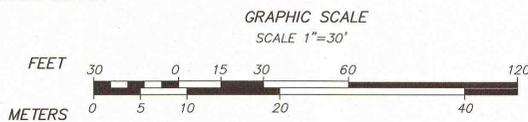
TEST PIT: TP#14-6
ELEV.=282.2±
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21"-120" HORIZON C: LOAMY SAND
E.S.H.G.W. @ 105"

SOILS INFORMATION:

SOILS INFORMATION DERIVED FROM THE USDA NATURAL RESOURCES CONSERVATION SERVICE SOIL SURVEY OF MIDDLESEX COUNTY, MASSACHUSETTS, URL: <http://websoilsurvey.nrcs.usda.gov>.

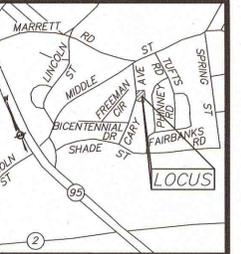
SOIL TYPE	HYDROLOGIC SOIL GROUP	TYPICAL DEPTH TO ESHGW
PAXTON URBAN LAND COMPLEX	GROUP C	18"-21"
CHARLTON URBAN LAND HOLLIS COMPLEX	GROUP B	MORE THAN 80"



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D
1	2/4/15	REV. PER PLANNING DEPT.	MAC	MJN

DWG. No. 3899-1_DEF_SITEANALYSIS



LEGEND: (SEE SHEET 2 FOR EXISTING LEGEND)

- H.P. HIGH POINT
- L.P. LOW POINT
- 278- TWO FOOT CONTOUR
- 280- TEN FOOT CONTOUR
- ← DIRECTION OF OVERLAND FLOW
- ESHGW ESTIMATED SEASONAL HIGH GROUND WATER
- HSG HYDROLOGIC SOIL GROUP
- 15-25% SLOPES (NONE)
- 25-40% SLOPES (NONE)
- >40% SLOPES (NONE)
- STONE WALL
- CONIFEROUS TREE
- DECIDUOUS TREE
- TREELINE

APPLICANT:

SHELDON CORP.
TODD CATALDO
121 MARRETT ROAD
LEXINGTON, MA 02421

REFERENCES:

- LAND COURT PLAN 6962-A
- LAND COURT PLAN 6962-C

RECORD OWNERS:

- #36 CARY AVENUE (MAP 34 LOT 34A & 34B)
COLE FAMILY TRUST
JOHN P. ROGARIS, TRUSTEE
CERTIFICATE NO. 257521
REGISTRATION BOOK 1459, PAGE 30
- #42 CARY AVENUE (MAP 34 LOT 35)
ROBERT E. SMITH, JR.
4 CURRIER COURT
LEXINGTON MA 02420
CERTIFICATE NO. 256163
REGISTRATION BOOK 01449, PAGE 142
- #48 CARY AVENUE (MAP 34 LOT 36B)
CAZ REALTY TRUST
JACQUELINE D. FALLON, TRUSTEE
168 GRANT STREET,
LEXINGTON, MA 02420
CERTIFICATE NO. 236774
REGISTRATION BOOK 1320, PAGE 20
- #48 CARY AVENUE (MAP 34 LOT 36A)
VASUKI REALTY TRUST
THOMAS J. CATALDO, TRUSTEE
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LEXINGTON, MA 02420
CERTIFICATE NO. 245789
REGISTRATION BOOK 1380, PAGE 24

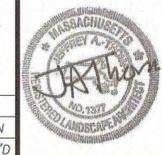
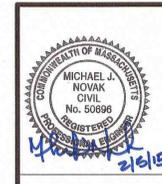
NOTES:

1. THE SOLE PURPOSE OF THIS PLAN SET IS TO COMPLY WITH THE TOWN OF LEXINGTON PLANNING BOARD SUBDIVISION REGULATIONS.
2. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 22 AND MARCH 22, 2002, SEPTEMBER 2, 2009, AND SEPTEMBER 10 THROUGH SEPTEMBER 12, 2014.
3. THE SUBJECT PROPERTIES DEPICTED ARE LOCATED IN THE RS DISTRICT (SINGLE FAMILY DWELLING).
4. THE SUBJECT PROPERTIES ARE DEPICTED AS LOTS 34A, 34B, 35, 36A & 36B ON TOWN OF LEXINGTON ASSESSOR'S MAP 34.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. THE SOURCE OF NOISE AFFECTING THE SITE AND ADJUTING SITES IS THE TRAFFIC FLOW ALONG CARY AVENUE AND PHINNEY ROAD.
7. THERE ARE NO HISTORICALLY OR ARCHITECTURALLY SIGNIFICANT STRUCTURES LOCATED ON THE SITE.
8. THE ELEVATIONS DEPICTED HEREON WERE BASED UPON TOWN OF LEXINGTON SEWER DATUM.
9. THE TOTAL DBH OF ALL (181) TREES WITH A DBH GREATER THAN 6 INCHES IS 2,489 INCHES.
10. THERE ARE NO HABITATS OF RARE AND ENDANGERED SPECIES WITHIN THE PROJECT AREA.
11. THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTIES.

**WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 34B, 35, 36A & 36B)
DEFINITIVE SUBDIVISION**

**SITE ANALYSIS MAP
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)**

PREPARED FOR
SHELDON CORP.
SCALE: 1" = 30' DATE: NOVEMBER 17, 2014



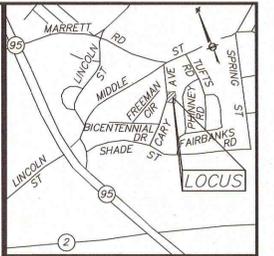
MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

SHEET No. 3 OF 12 PROJECT No. 3899-1

DATE:

I, _____ CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

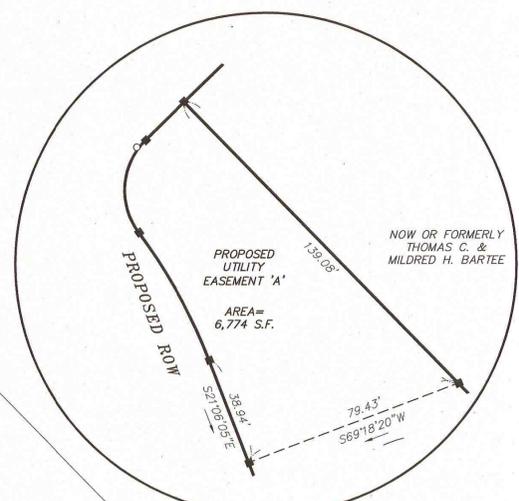
TOWN CLERK



NOTES:

- THE SOLE PURPOSE OF THIS PLAN IS TO REDIVIDUE PARCELS 105-110, TO CREATE PROPOSED LOTS "A" - "G", ONE FORTY-FOOT WIDE RIGHT OF WAY AND PROPOSED UTILITY EASEMENT A.
- THE SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 22 AND MARCH 22, 2002, ON SEPTEMBER 2, 2009 AND BETWEEN SEPTEMBER 10 AND SEPTEMBER 12, 2014.
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- THE SUBJECT PROPERTIES ARE LOCATED WITHIN FLOOD ZONE X (UNSHADED) AS IDENTIFIED ON FLOOD INSURANCE RATE MAPS (FIRM) NO. 25017C0411E AND NO. 25017C0392E AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
- PROPOSED CONCRETE BOUNDS SHALL BE CONSTRUCTED OF REINFORCED CONCRETE (6"x6"), THREE (3') FEET LONG CONTAINING A ONE-INCH DEEP ONE-HALF INCH DIAMETER DRILL HOLE. BOUNDS SHALL BE SET FLUSH WITH THE FINISHED GRADE IN BANK RUN GRAVEL.
- PROPOSED IRON ROD MUST BE AT LEAST 24" IN LENGTH AND MUST BE IMBEDDED IN THE GROUND SO THAT THEY ARE NOT EASILY REMOVED OR SHIFTED.
- THE PROPERTY DEPICTED HEREON IS BEING DE-REGISTERED.

EASEMENT 'A' DETAIL:
SCALE: 1"=30'



RS ZONE REQUIREMENTS:

ITEM:	REQUIREMENT:
MINIMUM LOT AREA:	15,500 SF
MINIMUM LOT FRONTAGE IN FEET:	125 FT
MINIMUM FRONT YARD IN FEET:	30 FT
MINIMUM SIDE YARD IN FEET:	15 FT
MINIMUM REAR YARD IN FEET:	15 FT
MINIMUM DRIVEWAY SETBACK FROM 5 FT SIDELINE:	

RIGHT OF WAY AREA = 22,381 S.F.

APPLICANT:

SHELDON CORP.
TODD CATALDO
121 MARRETT ROAD
LEXINGTON, MA 02421

REFERENCES:

- LAND COURT PLAN 6962-A
- LAND COURT PLAN 6962-C

RECORD OWNERS:

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REGISTRATION BOOK 1459, PAGE 30
- No. 42 CARY AVENUE (MAP 34 LOT 35)
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REGISTRATION BOOK 1380, PAGE 24

**WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 34B, 35, 36A & 36B)
DEFINITIVE SUBDIVISION**

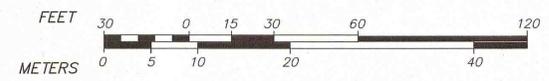
**PROPERTY RIGHTS PLAN OF LAND
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)**

PREPARED FOR
SHELDON CORP.
SCALE: 1" = 30' DATE: NOVEMBER 17, 2014



500 CUMMINGS CENTER, SUITE 5950 60 MILK STREET, SUITE 302
BEVERLY, MASSACHUSETTS 01915 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

SHEET No. 4 OF 12 PROJECT No. 3899-1



REVISIONS

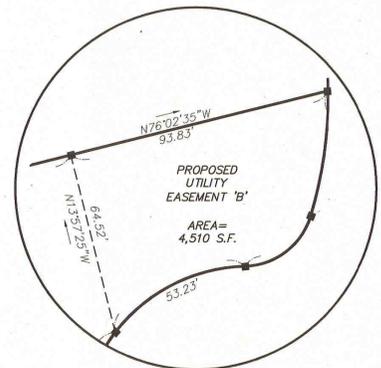
NO.	DATE	DESCRIPTION	BY	CHK'D
1	2/4/15	ADJUST LOT A REAR LOT LINE & ADD EASEMENT TO LOT C	MAC	KED

DWG. No. 3899-1_EPL
NB 610 PG 79

LEGEND:

- PROPOSED PROPERTY LINES
- N.T.S. NOT TO SCALE
- SF SQUARE FEET
- AC ACRE
- TYP. TYPICAL
- IP O IRON ROD TO BE SET (SEE NOTE 8)
- IP P IRON PIPE FOUND
- SB/D.H. CONCRETE BOUND TO BE SET (SEE NOTE 7)
- C.B./D.H. CONCRETE BOUND WITH DRILL HOLE FOUND
- R.O.W. RIGHT OF WAY
- N/F NOW OR FORMERLY
- A.G. ABOVE GRADE
- FND FOUND
- TBR TO BE REMOVED
- TYP TYPICAL
- DIA. DIAMETER
- PROPOSED EASEMENTS

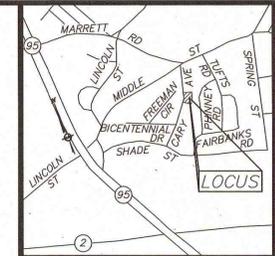
EASEMENT 'B' DETAIL:
SCALE: 1"=30'



I DECLARE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Kevin E. Danahy
FOR MERIDIAN ASSOCIATES, INC. DATE: 2/04/15

FOR REGISTRY OF DEEDS USE ONLY



DRAINAGE NOTES:

1. THE PROPOSED STORM DRAINAGE DESIGN FOR THIS SUBDIVISION INCLUDES SUBSURFACE INFILTRATION SYSTEM DESIGNS FOR LOTS A, C, D, E AND F TO CAPTURE A PROPOSED ROOF RUNOFF UP TO 3,000 SF OF ROOF AREA AND UP TO AN ADDITIONAL 200 SF OF MISCELLANEOUS IMPERVIOUS AREAS (PATIOS, WALKS, ETC.) FROM THE REAR OF LOTS A, C, D, E AND F. IF ANY OF THE PROPOSED DWELLINGS FOR LOTS A, C, E, AND F EXCEED 3,000 SF OF ROOF AREA THE PROPOSED SUBSURFACE INFILTRATION SYSTEM DESIGN SHALL BE REVISED BY THE DESIGN ENGINEER PRIOR TO THE SUBMITTAL OF THE BUILDING PERMIT APPLICATION FOR EACH INDIVIDUAL LOT.
2. AN ADDITIONAL PROPOSED SUBSURFACE INFILTRATION SYSTEM HAS BEEN INCLUDED WITHIN THE SUBDIVISION STORMWATER DESIGN TO CAPTURE UP TO 925 SF OF MISCELLANEOUS IMPERVIOUS (DRIVEWAY, WALKS, ETC.) FROM THE FRONT OF PROPOSED LOT A. IF THE PROPOSED IMPERVIOUS AREA IN THE FRONT OF LOT A EXCEEDS 925 SF, THE PROPOSED SUBSURFACE INFILTRATION SYSTEM DESIGN SHALL BE REVISED BY THE DESIGN ENGINEER PRIOR TO THE SUBMITTAL OF THE BUILDING PERMIT APPLICATION FOR LOT A.

STREET RESTORATION NOTES:

1. WHEREVER THE CONSTRUCTION OF UTILITIES, CONNECTION TO EXISTING SERVICES OR FACILITIES REQUIRE OPENING CARY AVENUE THE CONTRACTOR MUST RECONSTRUCT THE EXISTING PAVEMENT AS FOLLOWS:
 - 1.1. BY COLD-PLANING THE ENTIRE WIDTH OF THE STREET TO A DEPTH OF 1.5" FROM THE POINT OF CURVATURE OF THE CURB ROUNDING ACROSS THE PROPOSED SUBDIVISION STREET TO THE POINT OF TANGENCY OF THE OPPOSITE CURB ROUNDING; AND
 - 1.2. OVERLAYING THE COLD-PLANED AREA WITH A 1-1/2" FINISH COURSE OF BITUMINOUS CONCRETE.

NOTES:

1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 22 AND MARCH 22, 2002, ON SEPTEMBER 2, 2009 AND BETWEEN SEPTEMBER 10 AND SEPTEMBER 12, 2014.
2. THE SUBJECT PROPERTIES DEPICTED ARE LOCATED IN THE RS DISTRICT (ONE FAMILY DWELLING).
3. THE SUBJECT PROPERTIES ARE DEPICTED AS LOTS 34A, 34B, 35, 36A & 36B IN TOWN OF LEXINGTON ASSESSOR'S MAP 34.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. THE SUBJECT PROPERTIES ARE LOCATED WITHIN FLOOD ZONE X (UNSHADED) AS IDENTIFIED ON FLOOD INSURANCE RATE MAPS (FIRM) NO. 25017C041E AND NO. 25017C0392E AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
7. THE ELEVATIONS DEPICTED HEREON ARE BASED ON THE TOWN OF LEXINGTON SEWER DATUM.
8. IF SHED IS TO BE RELOCATED, THE NEW LOCATION OF THE SHED SHALL COMPLY WITH THE TOWN OF LEXINGTON ZONING BYLAW.

LEGEND: (SEE SHEET 2 FOR EXISTING LEGEND)

PSIS	PROPOSED STORMWATER INFILTRATION SYSTEM
---	PROPOSED FILTERMITT
- - - -	PROPOSED LIMIT OF WORK LINE
□	PROPOSED CATCH BASIN (PCB)
□	PROPOSED WATER QUALITY UNIT (PCDS)
---	PROPOSED CONTOUR
---	PROPOSED BITUMINOUS CURB (PBB)
○	PROPOSED SIGN
○	PROPOSED LIGHT POLE
○	PROPOSED HYDRANT
○	PROPOSED STREET TREE (SEE SHEET 8)
■	PROPOSED PAVEMENT
CY	CUBIC YARD
F-F	FACE OF CURB TO FACE OF CURB
B-B	BACK OF CURB TO BACK OF CURB
⊗	EXISTING TREE PROPOSED TO BE REMOVED
⊗	PROPOSED GRANITE CURB (PGC)
⊗	PROPOSED LIGHT POLE
⊗	PROPOSED HANDICAP RAMP

FOR STORM DRAIN DESIGN SEE SHEET 7, "UTILITY AND PROFILE PLAN"

CUT/FILL SUMMARY:
 CUT: 616 CY
 FILL: 362 CY
 TOTAL: 254 CY CUT

APPLICANT:

SHELDON CORP.
 TODD CATALDO
 121 MARRETT ROAD
 LEXINGTON, MA 02421

REFERENCES:

- LAND COURT PLAN 6962-A
 - LAND COURT PLAN 6962-C

RECORD OWNERS:

- #36 CARY AVENUE (MAP 34 LOT 34A & 34B)
 COLE FAMILY TRUST
 JOHN P. ROGARIS, TRUSTEE
 CERTIFICATE NO. 257521
 REGISTRATION BOOK 1459, PAGE 30
- #42 CARY AVENUE (MAP 34 LOT 35)
 ROBERT E. SMITH, JR.
 4 CURRIER COURT
 LEXINGTON MA 02420
 CERTIFICATE NO. 256163
 REGISTRATION BOOK 01449, PAGE 142
- #48 CARY AVENUE (MAP 34 LOT 36B)
 CAZ REALTY TRUST
 JACQUELINE D. FALLON, TRUSTEE
 168 GRANT STREET,
 LEXINGTON, MA 02420
 CERTIFICATE NO. 236774
 REGISTRATION BOOK 1320, PAGE 20
- #48 CARY AVENUE (MAP 34 LOT 36A)
 VASILIKI REALTY TRUST
 THOMAS J. CATALDO, TRUSTEE
 48 CARY AVENUE
 LEXINGTON, MA 02420
 CERTIFICATE NO. 245789
 REGISTRATION BOOK 1380, PAGE 24

WILLARD CIRCLE
 (ASSESSORS MAP 34 - LOTS 34A, 34B, 35, 36A & 36B)

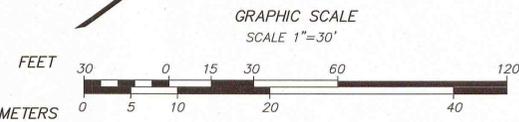
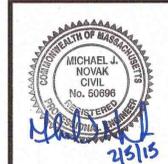
SITE CONSTRUCTION PLAN
 LOCATED IN
LEXINGTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)

PREPARED FOR
SHELDON CORP.
 SCALE: 1" = 30' DATE: NOVEMBER 13, 2014

MERIDIAN ASSOCIATES

500 CUMMINGS CENTER, SUITE 9950 BEVERLY, MASSACHUSETTS 01915
 69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581
 TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
 WWW.MERIDIANSASSOC.COM

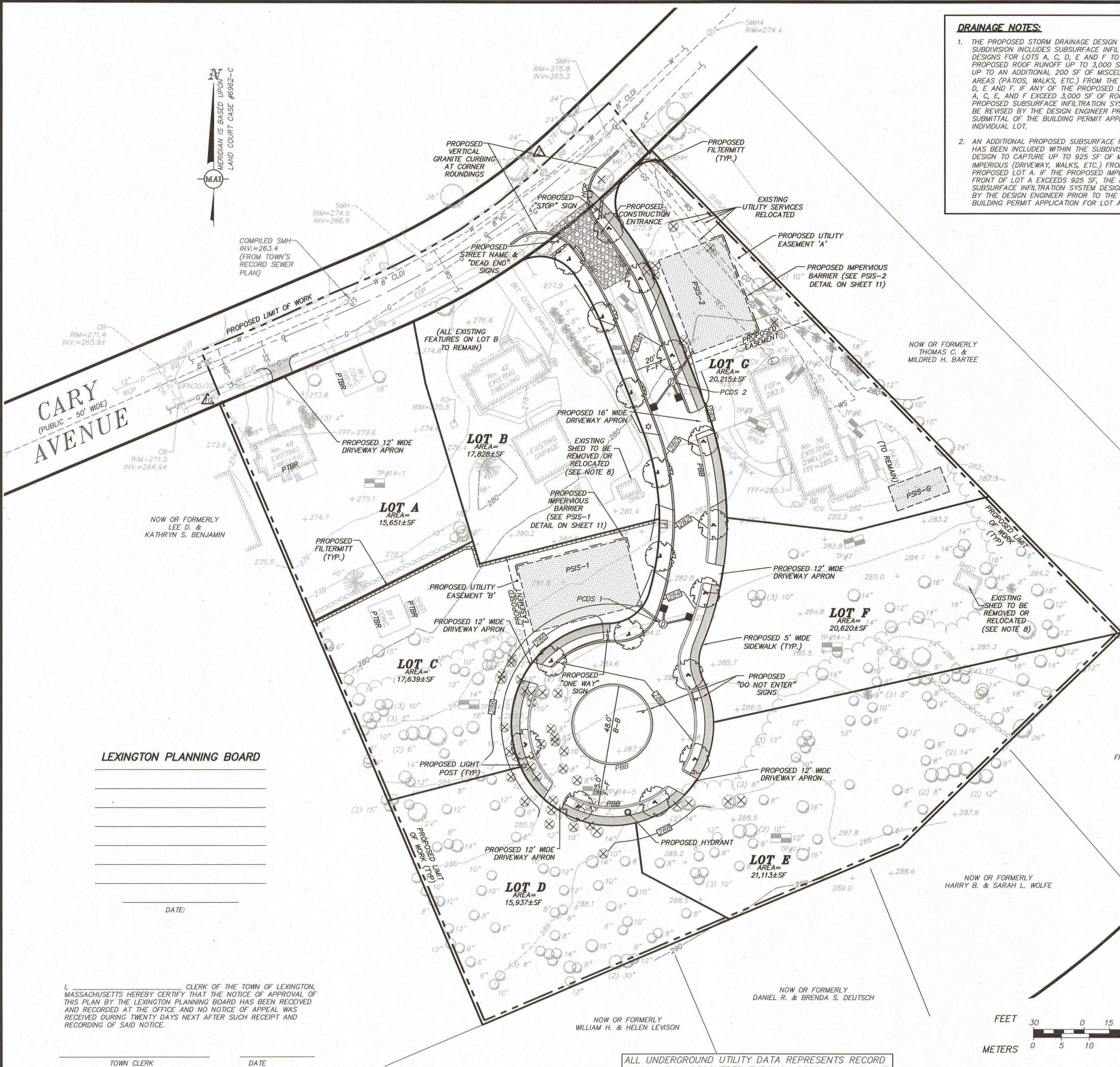
SHEET No. 5 OF 12 PROJECT No. 3899-1



REVISIONS

NO.	DATE	DESCRIPTION	MC/CP	MJN
1	2/4/15	REV. PER PLANNING BOARD COMMENTS	MC/CP	MJN
			BY	CHK'D

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION.



LEXINGTON PLANNING BOARD

DATE:

I, _____ CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

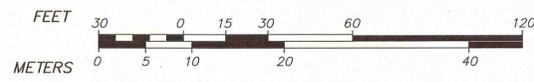
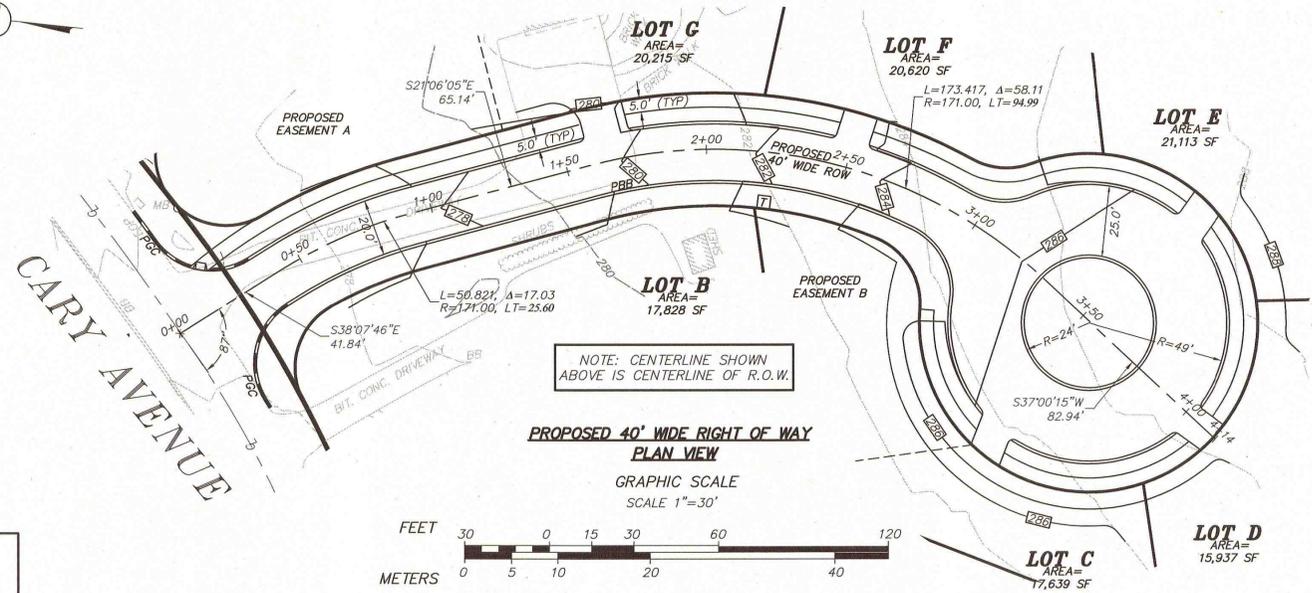
DWG. No. 3899-1_DEF-SITE
 NB 610 PG 79



FOR REGISTRY OF DEEDS USE ONLY

I DECLARE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

[Signature] 2/4/15
FOR MERIDIAN ASSOCIATES, INC. DATE

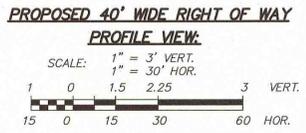
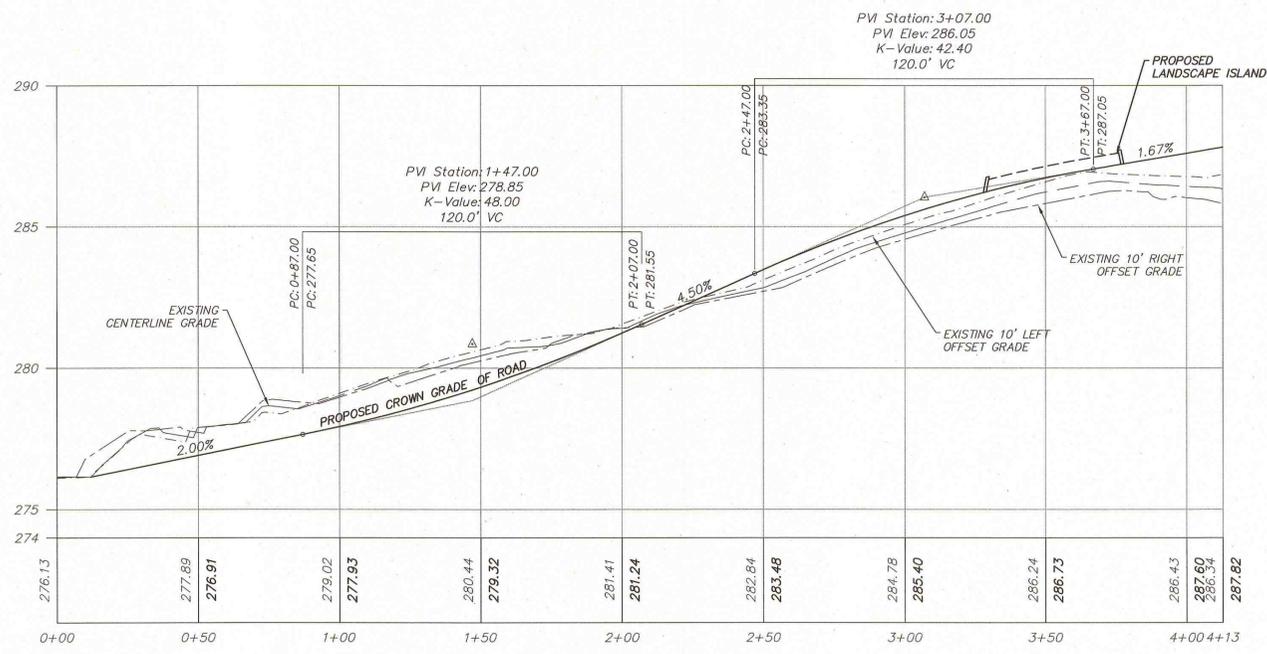
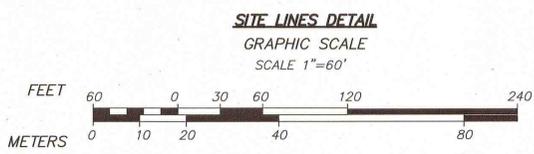
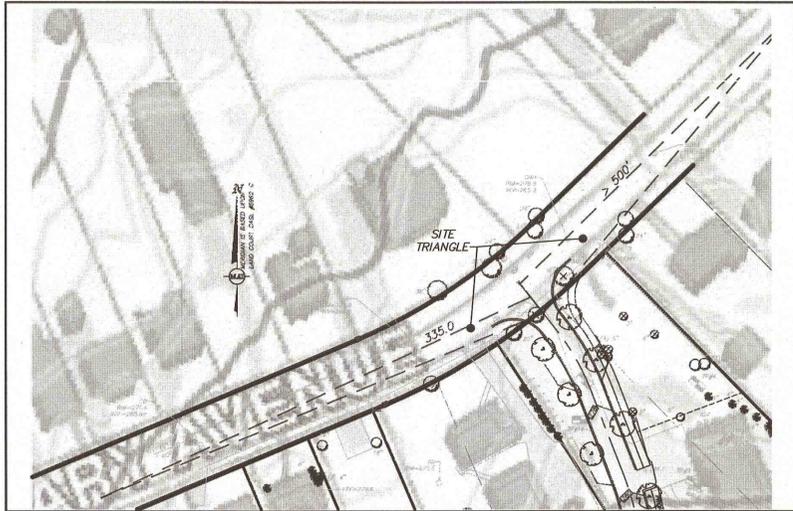


- LEGEND:** (SEE SHEET 2 FOR EXISTING LEGEND)
- PROPOSED CONTOUR
 - PROPOSED BITUMINOUS CURB (PBB)
 - PROPOSED LIGHT POLE
 - PROPOSED GRANITE CURB (PGC)
 - PROPOSED ROADWAY STATIONING
 - CENTERLINE (EXISTING)
 - CENTERLINE OF RIGHT OF WAY (PROPOSED)

- NOTES:**
- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE MERIDIAN BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 22 AND MARCH 22, 2002, ON SEPTEMBER 2, 2009 AND BETWEEN SEPTEMBER 10 AND SEPTEMBER 12, 2014.
 - THE SUBJECT PROPERTIES DEPICTED ARE LOCATED IN THE RS DISTRICT (ONE FAMILY DWELLING).
 - THE SUBJECT PROPERTIES ARE DEPICTED AS LOTS 34A, 34B 35, 36A & 36B ON TOWN OF LEXINGTON ASSESSOR'S MAP 34.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
 - THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
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 - THE ELEVATIONS DEPICTED HEREON ARE BASED ON THE TOWN OF LEXINGTON SEWER DATUM.
 - FOR ALL TEMPORARY BENCH MARK INFORMATION SEE SHEET 2 OF THIS PLAN SET.

FOR UTILITY INFORMATION, SEE SHEET 7, "UTILITY AND PROFILE PLAN"

NOTE: ALL DIMENSIONS SHOWN ARE TO FACE OF CURB



- APPLICANT:**
SHELDON CORP.
TODD CATALDO
121 MARRETT ROAD
LEXINGTON, MA 02421
- REFERENCES:**
- LAND COURT PLAN 6962-A
- LAND COURT PLAN 6962-C
- RECORD OWNERS:**
#36 CARY AVENUE (MAP 34 LOT 34A & 34B)
COLE FAMILY TRUST
JOHN P. RODARIS, TRUSTEE
CERTIFICATE NO. 257521
REGISTRATION BOOK 1459, PAGE 30
#42 CARY AVENUE (MAP 34 LOT 35)
ROBERT E. SMITH, JR.
4 CURRIER COURT
LEXINGTON MA 02420
CERTIFICATE NO. 256163
REGISTRATION BOOK 01449, PAGE 142
#48 CARY AVENUE (MAP 34 LOT 36B)
CAZ REALTY TRUST
JACQUELINE D. FALLON, TRUSTEE
169 GRANT STREET
LEXINGTON, MA 02420
CERTIFICATE NO. 238774
REGISTRATION BOOK 1320, PAGE 20
#48 CARY AVENUE (MAP 34 LOT 36A)
VASILIKI REALTY TRUST
THOMAS J. CATALDO, TRUSTEE
48 CARY AVENUE
LEXINGTON, MA 02420
CERTIFICATE NO. 245789
REGISTRATION BOOK 1380, PAGE 24

WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 34B, 35, 36A & 36B)

STREET LAYOUT AND PROFILE PLAN
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
SHELDON CORP.
SCALE: 1" = 30' DATE: NOVEMBER 17, 2014

MERIDIAN ASSOCIATES

590 CUMMINGS CENTER, SUITE 5950 69 MILK STREET, SUITE 302
BEVERLY, MASSACHUSETTS 01915 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

SHEET No. 6 OF 12 PROJECT No. 3899-1

LEXINGTON PLANNING BOARD

DATE: _____

CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION.

REVISIONS

NO.	DATE	REV. PER PLANNING BOARD COMMENTS	MC/CP	M/JN
1	2/4/15			

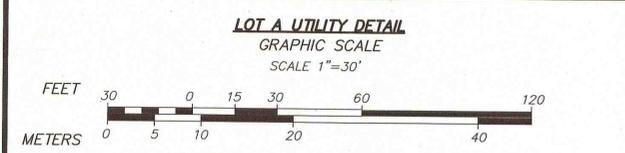
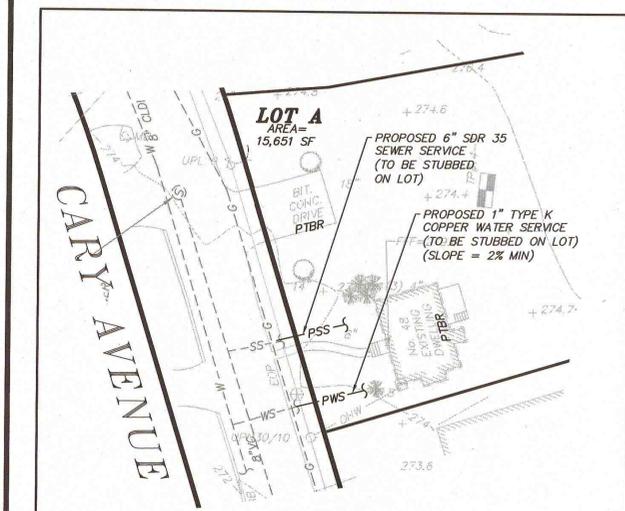
DWG. No. 3899-1_DEF-REC
NB 610 PG 79

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Phil Carr
FOR MERIDIAN ASSOCIATES, INC. DATE: 2/4/15

DATE: 2/4/15



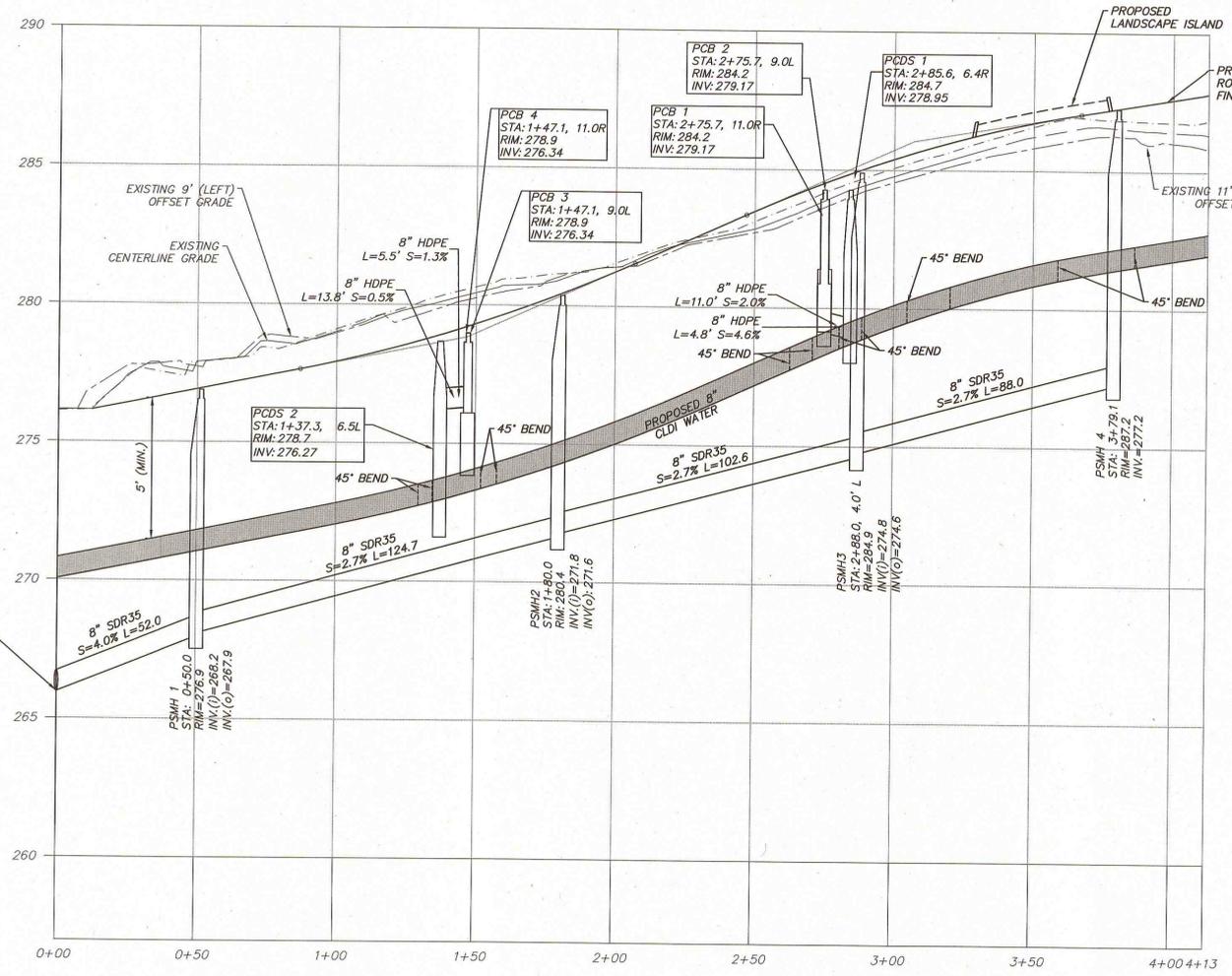
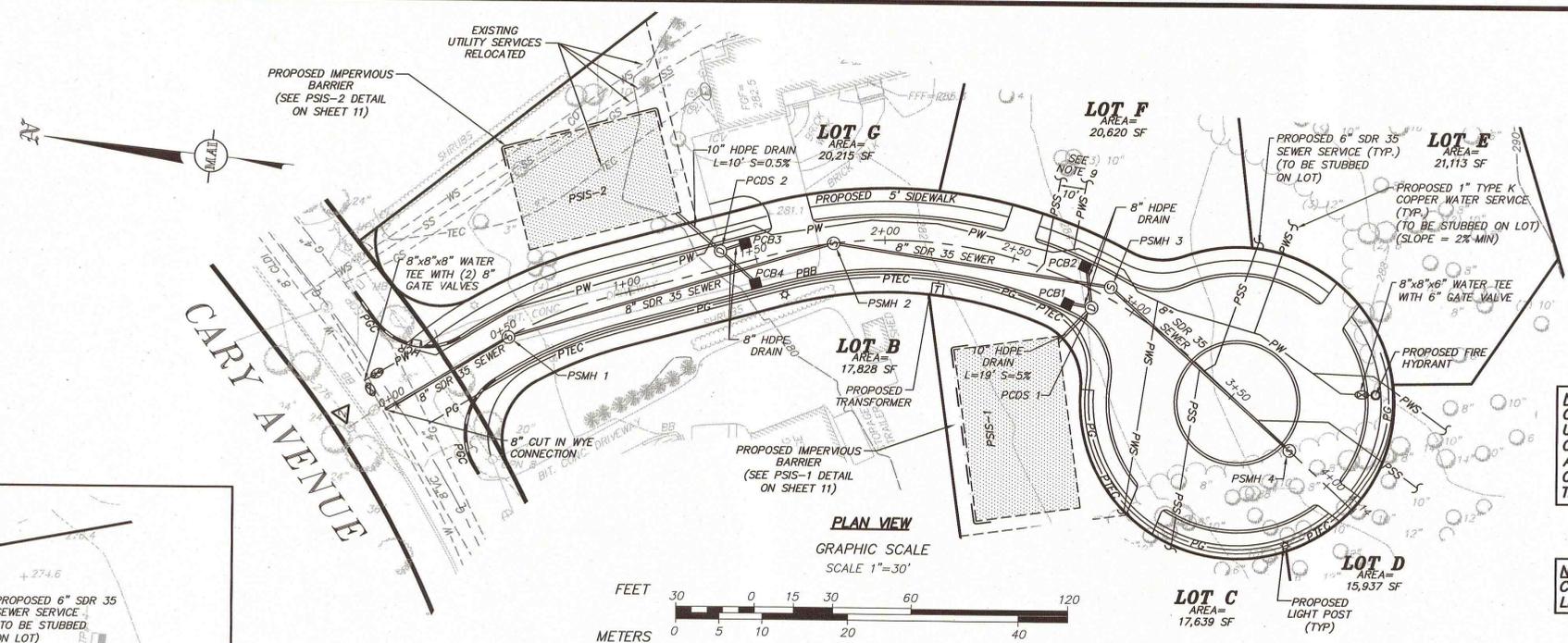
LEXINGTON PLANNING BOARD

DATE: _____

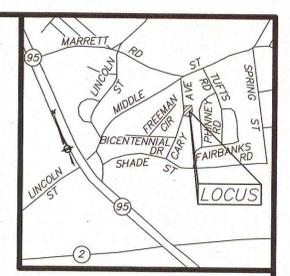
I, _____ CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION.



- LEGEND:** (SEE SHEET 2 FOR EXISTING LEGEND)
- PEOP PROPOSED EDGE OF PAVEMENT
 - INV INVERT ELEVATION
 - PSIS PROPOSED STORMWATER INFILTRATION SYSTEM
 - L LEFT
 - R RIGHT
 - PROPOSED FILTERMITT
 - PROPOSED LIMIT OF WORK LINE
 - PG PROPOSED GAS LINE
 - PW PROPOSED WATER LINE
 - PWS PROPOSED WATER SERVICE
 - PSS PROPOSED SEWER MAIN
 - PSSC PROPOSED SEWER SERVICE
 - PTC PROPOSED ELECTRIC LINE
 - PCB PROPOSED CATCH BASIN
 - PCDS PROPOSED WATER QUALITY UNIT (PCDS)
 - PSMH PROPOSED SEWER MANHOLE (PSMH)
 - PCBB PROPOSED BITUMINOUS CURB (PCBB)
 - PLP PROPOSED LIGHT POLE
 - PTF PROPOSED TRANSFORMER
 - PH PROPOSED HYDRANT
 - PGC PROPOSED GRANITE CURB (PGC)
 - INV.(i) INVERT IN
 - INV.(o) INVERT OUT



NOTE: CONTRACTOR SHALL VERIFY LOCATION, CONDITION AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF CONFLICTS TO THIS PLAN ARE FOUND THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER TO REVISE THE DESIGN IMMEDIATELY.

NOTE: ALL UTILITY CONNECTIONS MADE WITHIN CARY AVENUE SHALL MEET THE TOWN OF LEXINGTON STANDARDS AND REGULATIONS.

- NOTES:**
- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 22 AND MARCH 22, 2002, ON SEPTEMBER 2, 2009 AND BETWEEN SEPTEMBER 10 AND SEPTEMBER 12, 2014.
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 - THE SUBJECT PROPERTIES ARE DEPICTED AS LOTS 34A, 34B 35, 36A & 36B ON TOWN OF LEXINGTON ASSESSOR'S MAP 34.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILED PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
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 - THE SUBJECT PROPERTIES ARE LOCATED WITHIN FLOOD ZONE X (UNSHADED) AS IDENTIFIED ON FLOOD INSURANCE RATE MAPS (FIRM) NO. 25017C0411E AND NO. 25017C0392E AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
 - THE ELEVATIONS DEPICTED HEREON ARE BASED ON THE TOWN OF LEXINGTON SEWER DATUM.
 - FOR ALL TEMPORARY BENCH MARK INFORMATION SEE SHEET 2 OF THIS PLAN SET.
 - ALL PROPOSED SEWER MAINS OR SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 12" SEPARATION HORIZONTALLY AND/OR 18" VERTICALLY BELOW ANY WATER MAIN OR SERVICE. IF NEITHER SEPARATION CAN BE ACHIEVED THE SEWER PIPE SHALL BE ENCASED IN CONCRETE FOR A DISTANCE OF 10' ON EITHER SIDE OF THE CROSSING.

APPLICANT:
SHELDON CORP.
TODD CATALDO
121 MARRETT ROAD
LEXINGTON, MA 02421

REFERENCES:
- LAND COURT PLAN 6962-A
- LAND COURT PLAN 6962-C

RECORD OWNERS:

#36 CARY AVENUE (MAP 34 LOT 34A & 34B)
COLE FAMILY TRUST
JOHN P. ROGARIS, TRUSTEE
CERTIFICATE NO. 257521
REGISTRATION BOOK 1459, PAGE 30

#42 CARY AVENUE (MAP 34 LOT 35)
ROBERT E. SMITH, JR.
4 CURRIER COURT
LEXINGTON MA 02420
CERTIFICATE NO. 256163
REGISTRATION BOOK 01449, PAGE 142

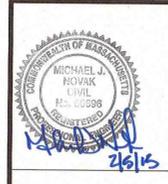
#48 CARY AVENUE (MAP 34 LOT 36B)
CAZ REALTY TRUST
JACQUELINE D. FALLON, TRUSTEE
168 GRANT STREET,
LEXINGTON, MA 02420
CERTIFICATE NO. 236774
REGISTRATION BOOK 1320, PAGE 20

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THOMAS J. CATALDO, TRUSTEE
48 CARY AVENUE
LEXINGTON, MA 02420
CERTIFICATE NO. 245789
REGISTRATION BOOK 1380, PAGE 24

STREET RESTORATION NOTES:

- WHEREVER THE CONSTRUCTION OF UTILITIES, CONNECTION TO EXISTING SERVICES OR FACILITIES REQUIRE OPENING CARY AVENUE THE CONTRACTOR MUST RECONSTRUCT THE EXISTING PAVEMENT AS FOLLOWS:
 - BY COLD-PLANING THE ENTIRE WIDTH OF THE STREET TO A DEPTH OF 1.5", FROM THE POINT OF CURVATURE OF THE CURB ROUNDING ACROSS THE PROPOSED SUBDIVISION STREET TO THE POINT OF TANGENCY OF THE OPPOSITE CURB ROUNDING; AND
 - OVERLAYING THE COLD-PLANNED AREA WITH A 1-2" FINISH COURSE OF BITUMINOUS CONCRETE.

WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 35, 36A & 36B)



UTILITY & PROFILE PLAN
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
SHELDON CORP.
SCALE: 1" = 30' DATE: NOVEMBER 17, 2014

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950 69 MILK STREET, SUITE 302
BEVERLY, MASSACHUSETTS 01915 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
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SHEET No. 7 OF 12 PROJECT No. 3899-1

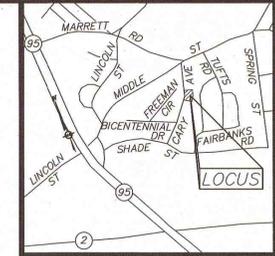
REVISIONS

NO.	DATE	REV. PER PLANNING BOARD COMMENTS DESCRIPTION	MC/CP	M/JN
1	2/4/15	REV. PER PLANNING BOARD COMMENTS		

DWG. No. 3899-1_DEF-REC
NB 610 PG 79

PLANTING SCHEDULE

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
9	GT	GLEDITSIA TRIACANTHOS	HONEY LOCUST	3.5" CALIPER/ 8-10' HT.	B&B
9	OK	QUERCUS RUBRA	RED OAK	3.5" CALIPER/ 8-10' HT.	B&B



LEGEND: (SEE SHEET 2 FOR EXISTING LEGEND)

- B&B BAGGED AND BURLAPPED
- PBB PROPOSED BITUMINOUS BERM
- TYP TYPICAL
- PEOP PROPOSED EDGE OF PAVEMENT
- PROPOSED FILTERMITT
- PROPOSED LIMIT OF WORK LINE
- PROPOSED CONTOUR
- PROPOSED LIGHT POLE
- PROPOSED STREET TREE
- EXISTING TREE PROPOSED TO BE REMOVED
- PROPOSED SIGN
- PROPOSED TRANSFORMER
- PROPOSED HYDRANT

NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 22 AND MARCH 22, 2002, ON SEPTEMBER 2, 2009 AND BETWEEN SEPTEMBER 10 AND SEPTEMBER 12, 2014.
- THE SUBJECT PROPERTIES DEPICTED ARE LOCATED IN THE RS DISTRICT (ONE FAMILY DWELLING).
- THE SUBJECT PROPERTIES ARE DEPICTED AS LOTS 34A, 34B, 35, 36A & 36B ON TOWN OF LEXINGTON ASSESSOR'S MAP 34.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE SUBJECT PROPERTIES ARE LOCATED WITHIN FLOOD ZONE X (UNSHADED) AS IDENTIFIED ON FLOOD INSURANCE RATE MAPS (FIRM) NO. 25017C0411E AND NO. 25017C0392E AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON THE TOWN OF LEXINGTON SEWER DATUM.
- IF SHED IS TO BE RELOCATED, THE NEW LOCATION OF THE SHED SHALL COMPLY WITH THE TOWN OF LEXINGTON ZONING BYLAW.

APPLICANT:

SHELDON CORP.
TODD CATALDO
121 MARRETT ROAD
LEXINGTON, MA 02421

REFERENCES:

- LAND COURT PLAN 6962-A
- LAND COURT PLAN 6962-C

RECORD OWNERS:

- #36 CARY AVENUE (MAP 34 LOT 34A & 34B)
COLE FAMILY TRUST
JOHN P. ROGARIS, TRUSTEE
CERTIFICATE NO. 257521
REGISTRATION BOOK 1459, PAGE 30
- #42 CARY AVENUE (MAP 34 LOT 35)
ROBERT E. SMITH, JR.
4 CURRIER COURT
LEXINGTON MA 02420
CERTIFICATE NO. 256163
REGISTRATION BOOK 01449, PAGE 142
- #48 CARY AVENUE (MAP 34 LOT 36B)
CAZ REALTY TRUST
JACQUELINE D. FALLON, TRUSTEE
168 GRANT STREET,
LEXINGTON, MA 02420
CERTIFICATE NO. 236774
REGISTRATION BOOK 1320, PAGE 20
- #48 CARY AVENUE (MAP 34 LOT 36A)
VASILIKI REALTY TRUST
THOMAS J. CATALDO, TRUSTEE
48 CARY AVENUE
LEXINGTON, MA 02420
CERTIFICATE NO. 245789
REGISTRATION BOOK 1380, PAGE 24

WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 34B, 35, 36A & 36B)

LANDSCAPE PLAN
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

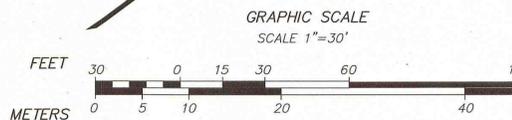
PREPARED FOR
SHELDON CORP.

SCALE: 1" = 30' DATE: NOVEMBER 17, 2014

MERIDIAN ASSOCIATES

500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

SHEET No. 8 OF 12 PROJECT No. 3899-1

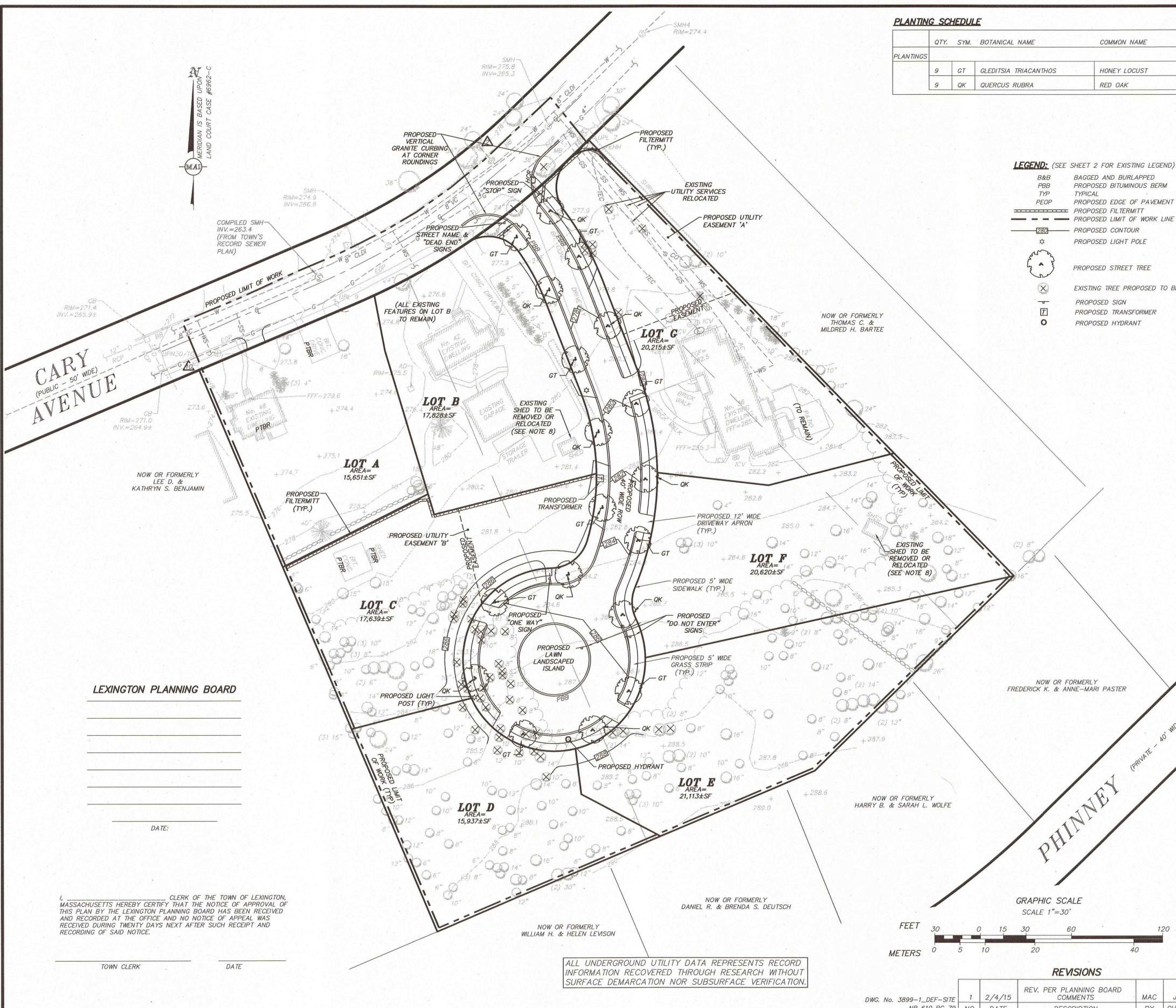


REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D
1	2/4/15	REV. PER PLANNING BOARD COMMENTS	MAC	JT

DWG. No. 3899-1_DEF-SITE
NB 610 PG 79

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION.



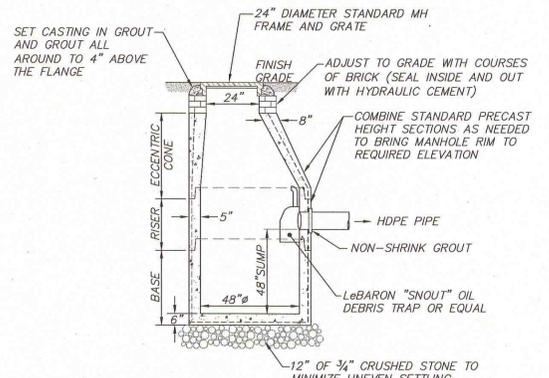
LEXINGTON PLANNING BOARD

DATE: _____

I, _____ CLERK OF THE TOWN OF LEXINGTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LEXINGTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

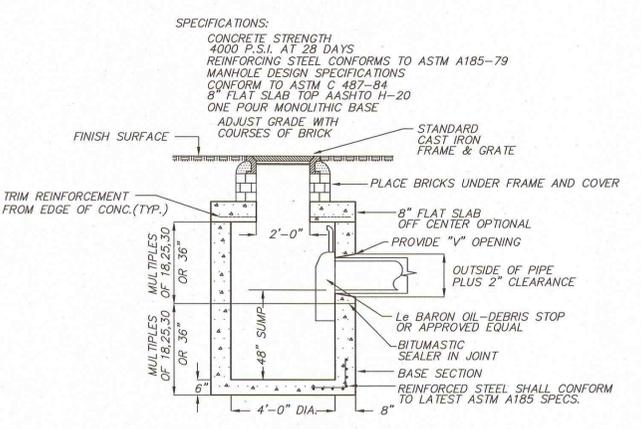
TOWN CLERK

DATE

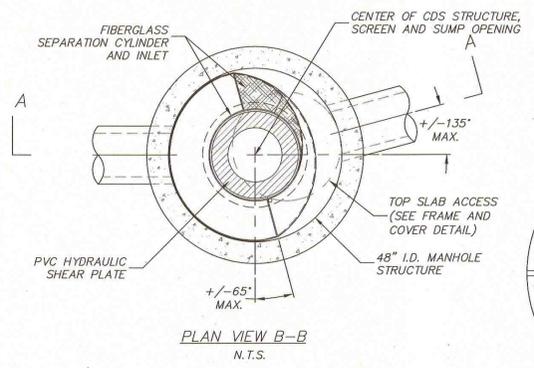


- NOTES:**
- 48" DIAMETER CATCHBASIN MANHOLE AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR EQUAL.
 - CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ IN./LINEAL FT AND 0.12 SQ IN (BOTH WAYS) BASE BOTTOM.
 - H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
 - BUTYL RESIN JOINT CONFORMS TO LATEST ASTM C443 SPEC.
 - PROVIDE EXTERIOR DAMPPROOFING AS REQUIRED.

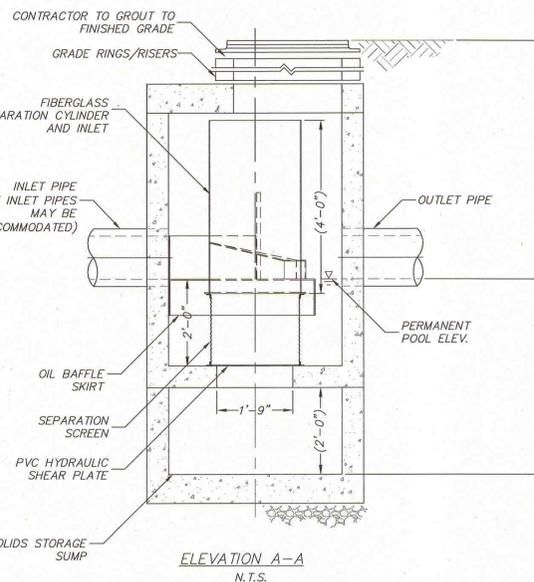
DEEP SUMP CATCHBASIN WITH OIL DEBRIS TRAP (PCB 1 & 2)
(NOT TO SCALE)



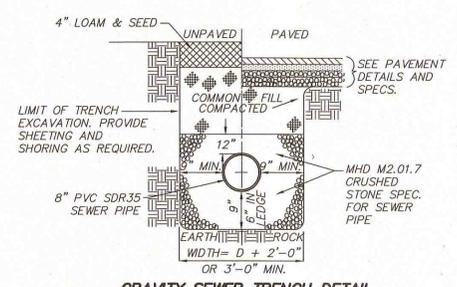
FLAT TOP CATCH BASIN WITH OIL/GREASE TRAP (PCB 3 & 4)
(NOT TO SCALE)



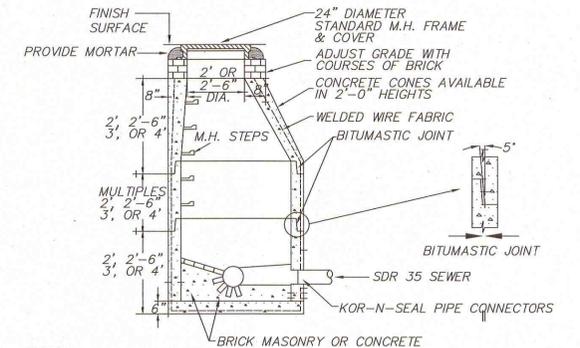
PLAN VIEW B-B
N.T.S.



CDS2015-4 PRECAST CONCRETE WATER QUALITY SYSTEM DETAIL (PCQDS UNIT)
(NOT TO SCALE)



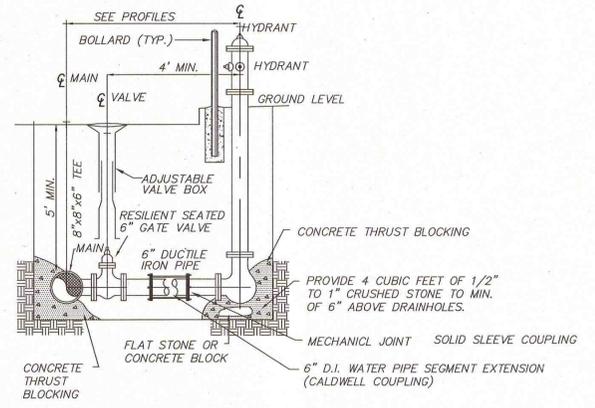
GRAVITY SEWER TRENCH DETAIL
(NOT TO SCALE)



- NOTES:**
- MANHOLE DESIGN TO LATEST ASTM C478.
 - REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 - CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
 - ONE POUR MONOLITHIC BASE.
 - WHEN SPECIFIED, MANHOLES WATERPROOF COATED.
 - STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 - BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-S-201A SPEC.
 - KOR-N-SEAL FLEXIBLE PIPE CONNECTORS FROM 3.5" TO 21.25" O.D. ASTM C923, A167.

SEWER MANHOLE DETAIL
(NOT TO SCALE)

FRAME AND COVER (DIAMETER VARIES)
N.T.S.



HYDRANT AND GATE VALVE DETAIL W/ MECHANICAL JOINT COUPLING
(NOT TO SCALE)



BEND-PLAN



PLUG ELEVATION



TEE-PLAN

- NOTE:**
- CONCRETE FOR THRUST BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
 - THRUST BLOCK BEARING AREAS TO BE IN ACCORDANCE WITH TABLE BELOW, UNLESS DETERMINED OTHERWISE BY THE ENGINEER BECAUSE OF SOIL CONDITIONS.

SIZE OF MAIN (IN.)	90° TEES & BEND PLUGS	45° BEND
6	4	4
8	6	3

* RESTRAINED JOINTS ARE ALSO REQUIRED

THRUST BLOCK DETAIL
(NOT TO SCALE)

NOTE: FOR DETAILS NOT DEPICTED HEREON, REFER TO STANDARD DETAILS AS PROVIDED BY THE TOWN OF LEXINGTON ENGINEERING DEPARTMENT.

WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 35, 36A & 36B)

DETAIL SHEET
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
SHELDON CORP.
SCALE: AS NOTED DATE: NOVEMBER 17, 2014

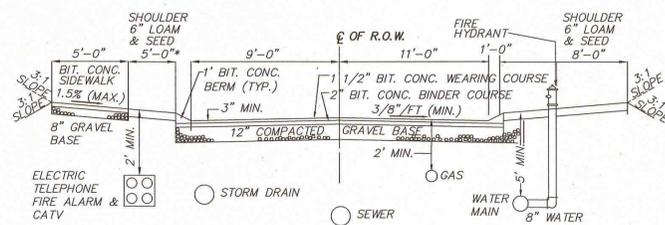
MERIDIAN ASSOCIATES

500 CUMMINGS CENTER, SUITE 9950 BEVERLY, MASSACHUSETTS 01915
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

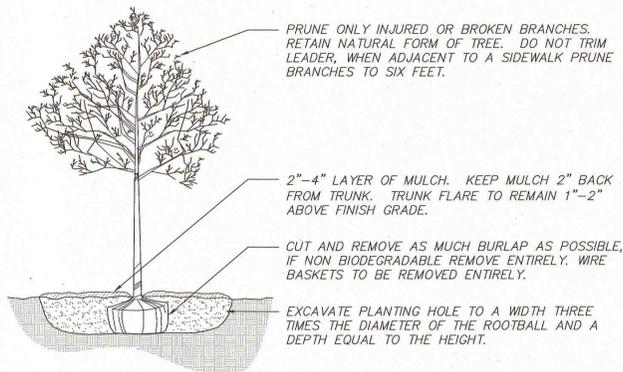
SHEET No. 9 OF 12 PROJECT No. 3899-1

NO.	DATE	DESCRIPTION	BY	CHK'D
1	2/4/14	NO REVISIONS TO THIS SHEET	MAC	MJN

DWG. No. 3899_DEF-DET



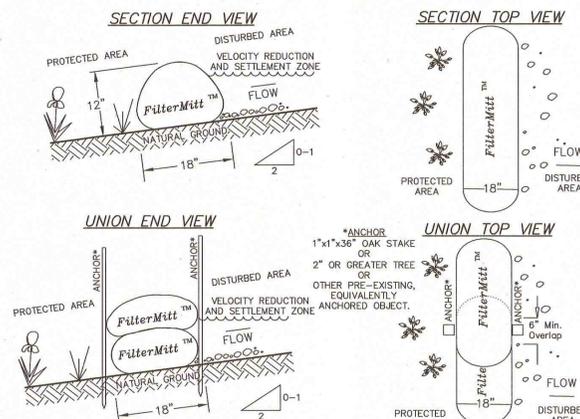
TYPICAL ROAD CROSS SECTION
(NOT TO SCALE)



NOTES:

1. TREES TO BE A MINIMUM OF 3.5" CALIPER AND 8-10' HT.
2. BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
3. BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
4. IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.
5. ONLY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBSTANTIAL PEDESTRIAN TRAFFIC.

TREE PLANTING
(NOT TO SCALE)

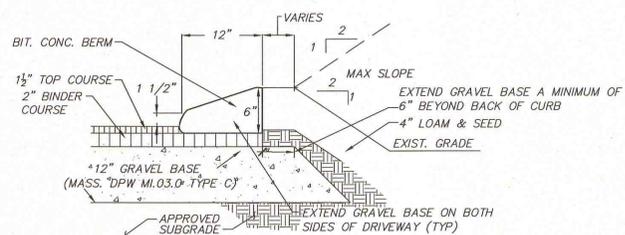


FilterMitt™ COMPONENTS:
 OUTSIDE CASING: 100% organic hessian.
 FILLER INGREDIENT: *FiberRoot Mulch™*
 • A blend of coarse and fine compost and shredded wood.
 • Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 • Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)
 For more information visit:
www.groundscapesexpress.com
 or contact us at:
Groundscapes Express, Inc.
 P.O. Box 737
 Wrentham, MA 02093
 (508) 384-7140

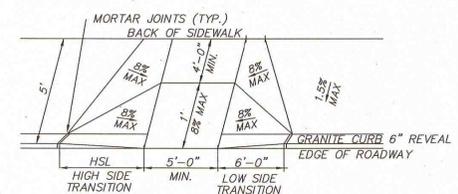
FilterMitt™ INSTALLATION:
 With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.
 Sections can also be delivered to the site in lengths from 1' to 8'.
 The flexibility of *FilterMitt™* allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.
 Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

FILTERMITT DETAIL
(NOT TO SCALE)

NOTE: STRAW WATTLES ARE NOT TO BE SUBSTITUTED FOR THE FILTERMITT

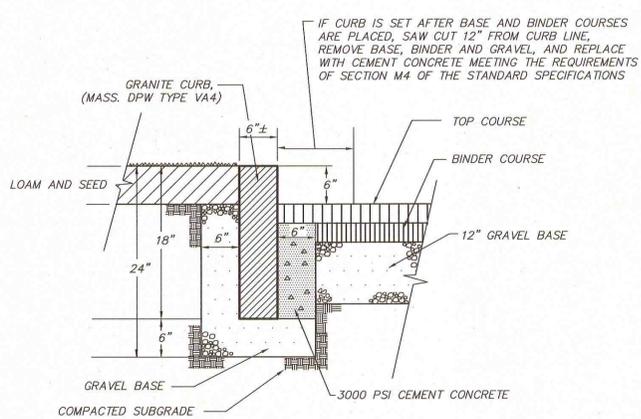


PROPOSED CAPE COD BERM
(NOT TO SCALE)

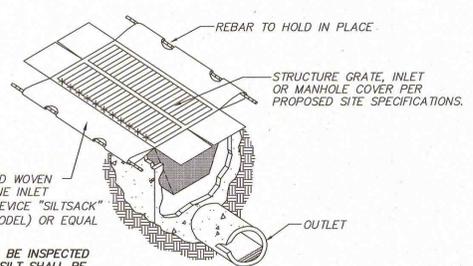


NOTE: HANDICAP RAMPS SHALL CONFORM TO THE MASSACHUSETTS HIGHWAY WHEELCHAIR RAMP STANDARDS (10/8/97)

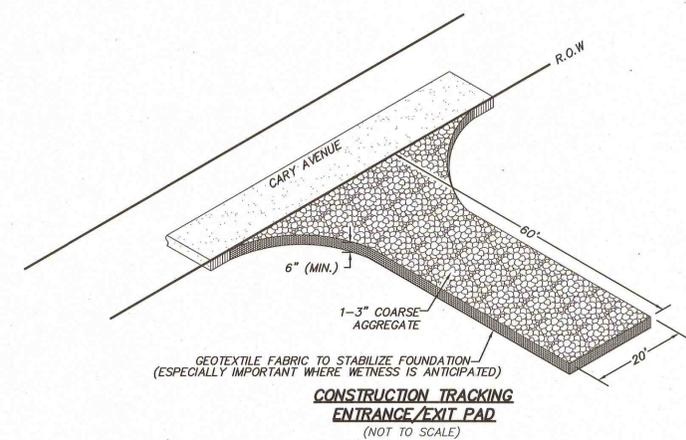
WHEELCHAIR RAMP DETAIL
(NOT TO SCALE)



VERTICAL GRANITE CURB DETAIL
(NOT TO SCALE)



SILTSACK DETAIL
(NOT TO SCALE)



CONSTRUCTION TRACKING ENTRANCE/EXIT PAD
(NOT TO SCALE)

NOTE: FOR DETAILS NOT DEPICTED HEREON, REFER TO STANDARD DETAILS AS PROVIDED BY THE TOWN OF LEXINGTON ENGINEERING DEPARTMENT.



WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 35, 36A & 36B)

DETAIL SHEET
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
SHELDON CORP.
SCALE: AS NOTED DATE: NOVEMBER 17, 2014

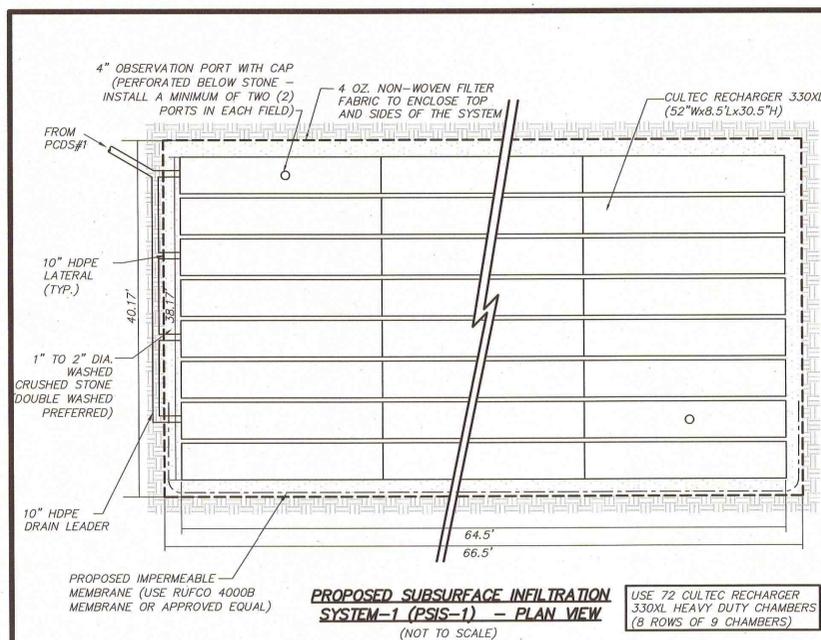
MERIDIAN ASSOCIATES

500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

SHEET No. 10 OF 12 PROJECT No. 3899-1

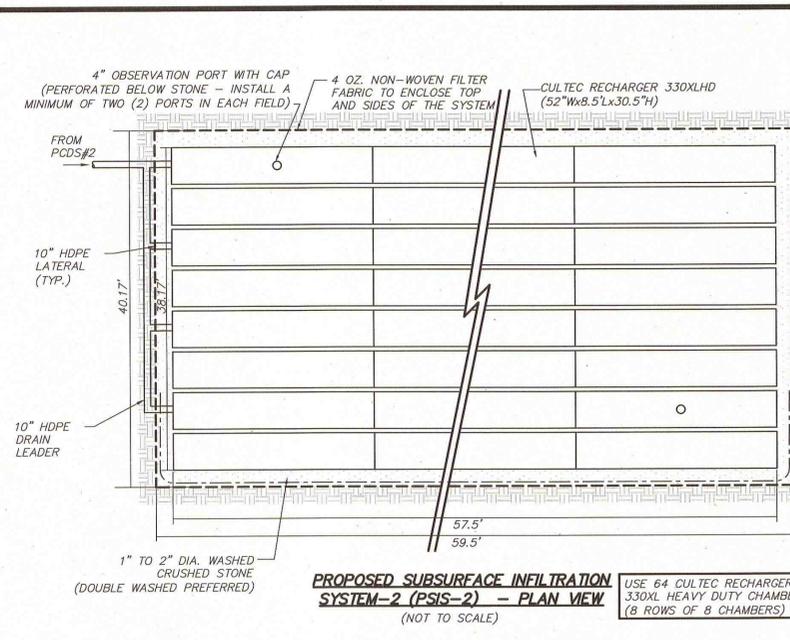
NO.	DATE	REV. PER PLANNING BOARD COMMENTS	MAC	MJN
1	2/4/15		MAC	MJN
		DESCRIPTION	BY	CHK'D

DWG. No. 3899_DEF-DET



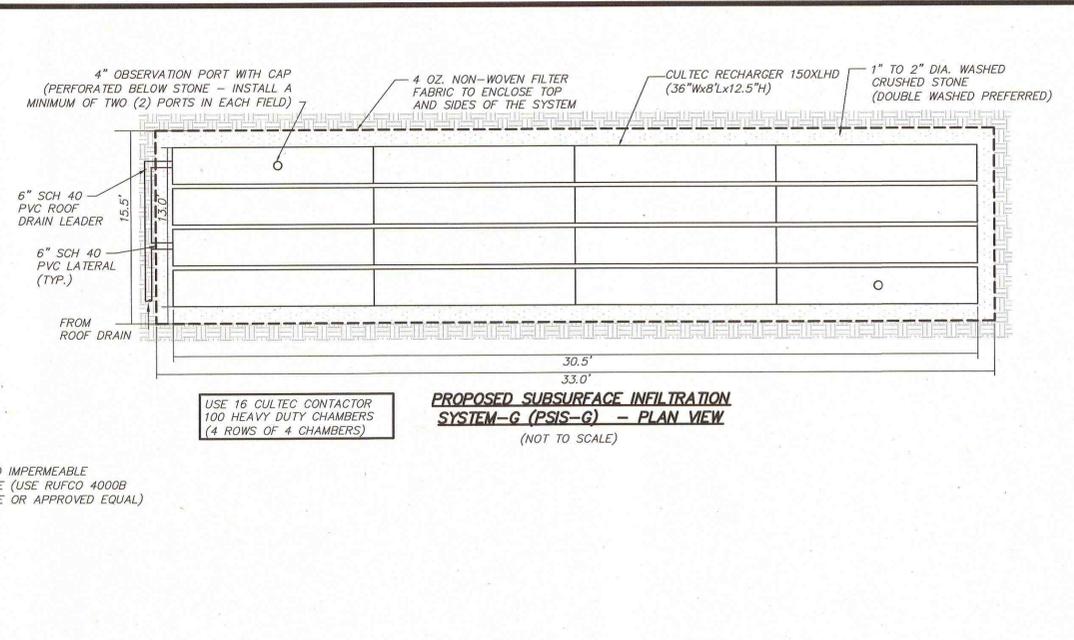
PROPOSED SUBSURFACE INFILTRATION SYSTEM-1 (PSIS-1) - PLAN VIEW
(NOT TO SCALE)

USE 72 CULTEC RECHARGER 330XL HEAVY DUTY CHAMBERS (8 ROWS OF 9 CHAMBERS)



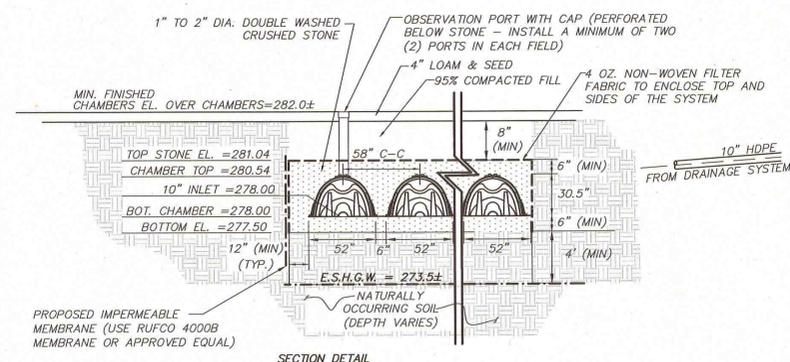
PROPOSED SUBSURFACE INFILTRATION SYSTEM-2 (PSIS-2) - PLAN VIEW
(NOT TO SCALE)

USE 64 CULTEC RECHARGER 330XL HEAVY DUTY CHAMBERS (8 ROWS OF 8 CHAMBERS)



PROPOSED SUBSURFACE INFILTRATION SYSTEM-G (PSIS-G) - PLAN VIEW
(NOT TO SCALE)

USE 16 CULTEC CONTACTOR 100 HEAVY DUTY CHAMBERS (4 ROWS OF 4 CHAMBERS)

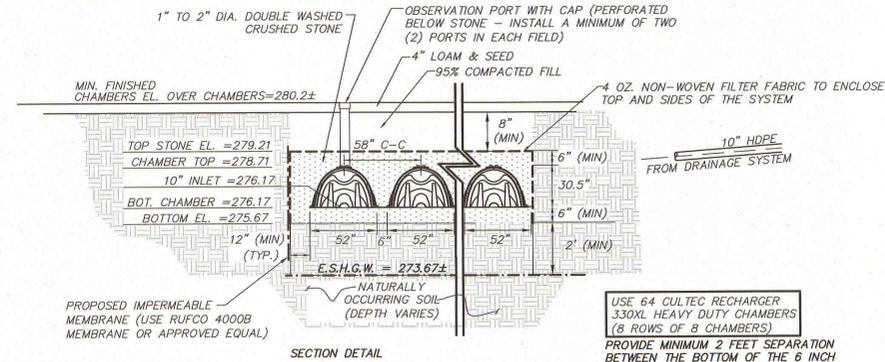


SECTION DETAIL

NOTES:
- C-C IS CENTER TO CENTER
- PROVIDE 6" MIN. SEPARATION BETWEEN ROWS OF CHAMBERS

PROPOSED SUBSURFACE INFILTRATION SYSTEM-1 (PSIS-1) - CROSS SECTION
(NOT TO SCALE)

CULTEC RECHARGER 330XLHD (52\"/>



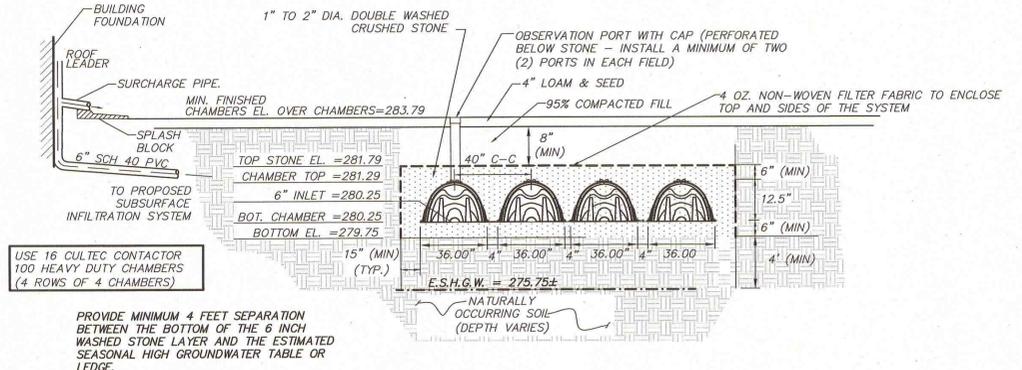
SECTION DETAIL

NOTES:
- C-C IS CENTER TO CENTER
- PROVIDE 6" MIN. SEPARATION BETWEEN ROWS OF CHAMBERS

PROPOSED SUBSURFACE INFILTRATION SYSTEM-2 (PSIS-2) - CROSS SECTION
(NOT TO SCALE)

USE 64 CULTEC RECHARGER 330XL HEAVY DUTY CHAMBERS (8 ROWS OF 8 CHAMBERS)

PROVIDE MINIMUM 2 FEET SEPARATION BETWEEN THE BOTTOM OF THE 6 INCH WASHED STONE LAYER AND THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE OR LEDGE.



SECTION DETAIL

NOTES:
- C-C IS CENTER TO CENTER
- PROVIDE 4" MIN. SEPARATION BETWEEN ROWS OF CHAMBERS

PROPOSED SUBSURFACE INFILTRATION SYSTEM-G (PSIS-G) - CROSS SECTION
(NOT TO SCALE)

NOTE:
CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL, FILL MATERIAL AND OTHER IMPERVIOUS LAYERS WITHIN THE FOOTPRINT (AND TWO (2) FEET BEYOND) OF THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. EXCAVATION SHALL BE FILLED WITH MATERIAL SPECIFIED IN SECTION 15.255 (3) OF THE STATE ENVIRONMENTAL CODE, TITLE 5 UP TO THE PROPOSED ELEVATION OF THE WASHED STONE.

NOTE:
CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL, FILL MATERIAL AND OTHER IMPERVIOUS LAYERS WITHIN THE FOOTPRINT (AND TWO (2) FEET BEYOND) OF THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. EXCAVATION SHALL BE FILLED WITH MATERIAL SPECIFIED IN SECTION 15.255 (3) OF THE STATE ENVIRONMENTAL CODE, TITLE 5 UP TO THE PROPOSED ELEVATION OF THE WASHED STONE.

USE 72 CULTEC RECHARGER 330XL HEAVY DUTY CHAMBERS (8 ROWS OF 9 CHAMBERS)

PROVIDE MINIMUM 4 FEET SEPARATION BETWEEN THE BOTTOM OF THE 6 INCH WASHED STONE LAYER AND THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE OR LEDGE.

NOTE:
CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL, FILL MATERIAL AND OTHER IMPERVIOUS LAYERS WITHIN THE FOOTPRINT (AND TWO (2) FEET BEYOND) OF THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. EXCAVATION SHALL BE FILLED WITH MATERIAL SPECIFIED IN SECTION 15.255 (3) OF THE STATE ENVIRONMENTAL CODE, TITLE 5 UP TO THE PROPOSED ELEVATION OF THE WASHED STONE.

DRAINAGE NOTES:

- THE PROPOSED STORM DRAINAGE DESIGN FOR THIS SUBDIVISION INCLUDES SUBSURFACE INFILTRATION SYSTEM DESIGNS FOR LOTS A, C, D, E AND F TO CAPTURE A PROPOSED ROOF RUNOFF UP TO 3,000 SF OF ROOF AREA AND UP TO AN ADDITIONAL 200 SF OF MISCELLANEOUS IMPERVIOUS AREAS (PATIOS, WALKS, ETC.) FROM THE REAR OF LOTS A, C, D, E AND F. IF ANY OF THE PROPOSED DWELLINGS FOR LOTS A, C, E, AND F EXCEED 3,000 SF OF ROOF AREA THE PROPOSED SUBSURFACE INFILTRATION SYSTEM DESIGN SHALL BE REVISED BY THE DESIGN ENGINEER PRIOR TO THE SUBMITTAL OF THE BUILDING PERMIT APPLICATION FOR EACH INDIVIDUAL LOT.
- AN ADDITIONAL PROPOSED SUBSURFACE INFILTRATION SYSTEM HAS BEEN INCLUDED WITHIN THE SUBDIVISION STORMWATER DESIGN TO CAPTURE UP TO 925 SF OF MISCELLANEOUS IMPERVIOUS (DRIVEWAY, WALKS, ETC.) FROM THE FRONT OF PROPOSED LOT A. IF THE PROPOSED IMPERVIOUS AREA IN THE FRONT OF LOT A EXCEEDS 925 SF, THE PROPOSED SUBSURFACE INFILTRATION SYSTEM DESIGN SHALL BE REVISED BY THE DESIGN ENGINEER PRIOR TO THE SUBMITTAL OF THE BUILDING PERMIT APPLICATION FOR LOT A.

NOTE: FOR DETAILS NOT DEPICTED HEREON, REFER TO STANDARD DETAILS AS PROVIDED BY THE TOWN OF LEXINGTON ENGINEERING DEPARTMENT.

DWG. No. 3899_DEF-DET

NO.	DATE	DESCRIPTION	BY	CHK'D
1	2/4/15	REV. PSIS 1 & 2 DETAILS	MAC	MJN



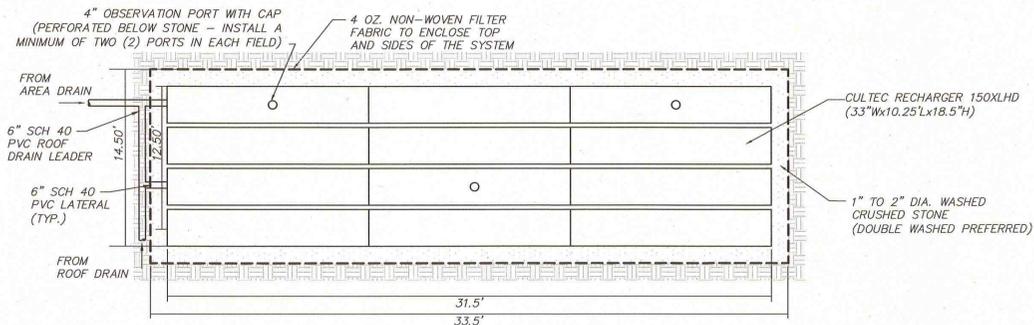
WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 35, 36A & 36B)

DETAIL SHEET
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

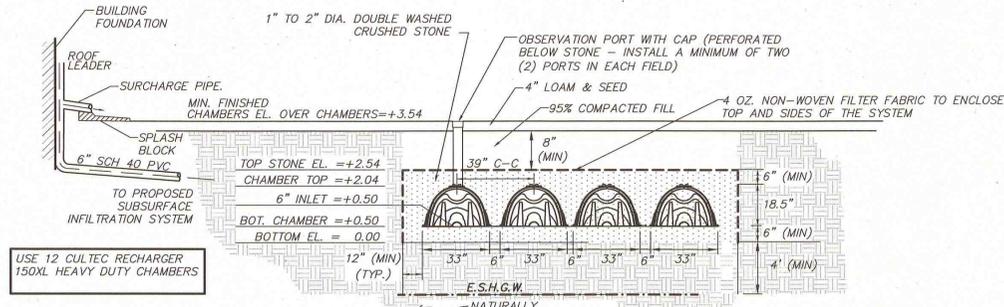
PREPARED FOR
SHELDON CORP.
SCALE: AS NOTED DATE: NOVEMBER 17, 2014

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950 69 MILK STREET, SUITE 302
BEVERLY, MASSACHUSETTS 01915 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

SHEET No. 11 OF 12 PROJECT No. 3899-1



PROPOSED SUBSURFACE INFILTRATION SYSTEM-A (PSIS-A) - PLAN VIEW
(NOT TO SCALE)



SECTION DETAIL

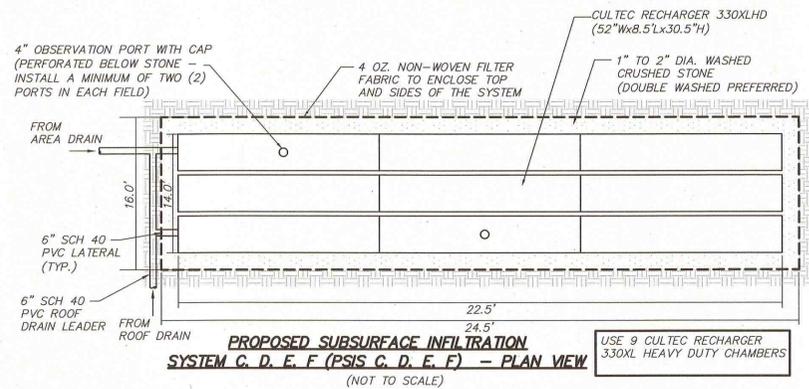
NOTES:
- C-C IS CENTER TO CENTER
- PROVIDE 6" MIN. SEPARATION BETWEEN ROWS OF CHAMBERS

PROPOSED SUBSURFACE INFILTRATION SYSTEM-A (PSIS-A) - CROSS SECTION
(NOT TO SCALE)

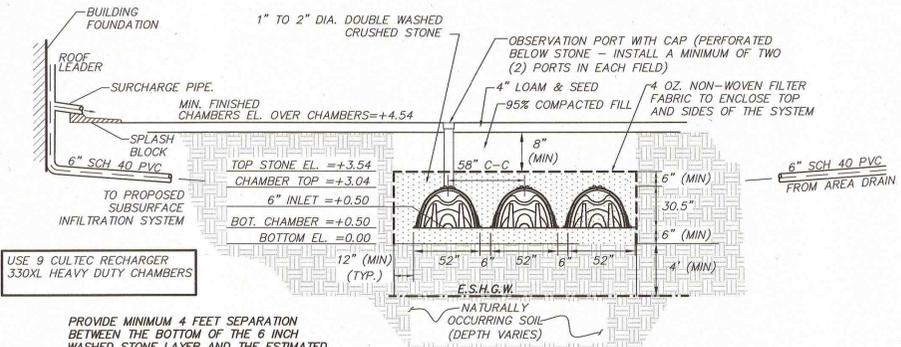
NOTE:
CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL, FILL MATERIAL AND OTHER IMPERVIOUS LAYERS WITHIN THE FOOTPRINT (AND TWO (2) FEET BEYOND) OF THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. EXCAVATION SHALL BE FILLED WITH MATERIAL SPECIFIED IN SECTION 15.255 (3) OF THE STATE ENVIRONMENTAL CODE, TITLE 5 UP TO THE PROPOSED ELEVATION OF THE WASHED STONE.

DRAINAGE NOTES:

1. THE PROPOSED STORM DRAINAGE DESIGN FOR THIS SUBDIVISION INCLUDES SUBSURFACE INFILTRATION SYSTEM DESIGNS FOR LOTS A, C, D, E AND F TO CAPTURE A PROPOSED ROOF RUNOFF UP TO 3,000 SF OF ROOF AREA AND UP TO AN ADDITIONAL 200 SF OF MISCELLANEOUS IMPERVIOUS AREAS (PATIOS, WALKS, ETC.) FROM THE REAR OF LOTS A, C, D, E AND F. IF ANY OF THE PROPOSED DWELLINGS FOR LOTS A, C, E, AND F EXCEED 3,000 SF OF ROOF AREA THE PROPOSED SUBSURFACE INFILTRATION SYSTEM DESIGN SHALL BE REVISED BY THE DESIGN ENGINEER PRIOR TO THE SUBMITTAL OF THE BUILDING PERMIT APPLICATION FOR EACH INDIVIDUAL LOT.
2. AN ADDITIONAL PROPOSED SUBSURFACE INFILTRATION SYSTEM HAS BEEN INCLUDED WITHIN THE SUBDIVISION STORMWATER DESIGN TO CAPTURE UP TO 925 SF OF MISCELLANEOUS IMPERVIOUS (DRIVEWAY, WALKS, ETC.) FROM THE FRONT OF PROPOSED LOT A. IF THE PROPOSED IMPERVIOUS AREA IN THE FRONT OF LOT A EXCEEDS 925 SF, THE PROPOSED SUBSURFACE INFILTRATION SYSTEM DESIGN SHALL BE REVISED BY THE DESIGN ENGINEER PRIOR TO THE SUBMITTAL OF THE BUILDING PERMIT APPLICATION FOR LOT A.



PROPOSED SUBSURFACE INFILTRATION SYSTEM C, D, E, F (PSIS C, D, E, F) - PLAN VIEW
(NOT TO SCALE)

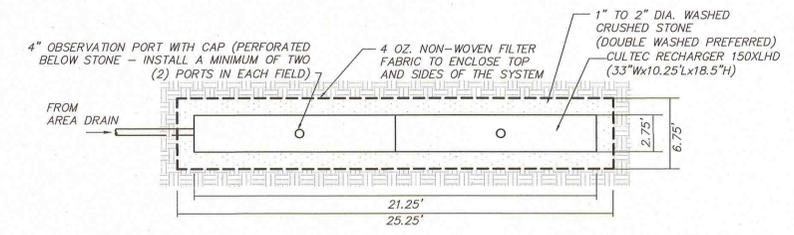


SECTION DETAIL

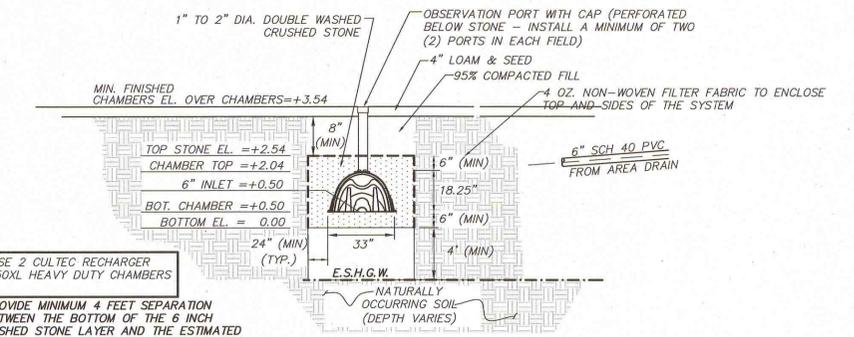
NOTES:
- C-C IS CENTER TO CENTER
- PROVIDE 6" MIN. SEPARATION BETWEEN ROWS OF CHAMBERS
- PROVIDE 4" MIN. SEPARATION FROM BOTTOM OF STONE TO E.S.H.G.W.

PROPOSED TYPICAL SUBSURFACE INFILTRATION SYSTEM C, D, E, F (PSIS C, D, E, F) - CROSS SECTION
(NOT TO SCALE)

NOTE:
CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL, FILL MATERIAL AND OTHER IMPERVIOUS LAYERS WITHIN THE FOOTPRINT (AND TWO (2) FEET BEYOND) OF THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. EXCAVATION SHALL BE FILLED WITH MATERIAL SPECIFIED IN SECTION 15.255 (3) OF THE STATE ENVIRONMENTAL CODE, TITLE 5 UP TO THE PROPOSED ELEVATION OF THE WASHED STONE.



PROPOSED SUBSURFACE INFILTRATION SYSTEM-A2 (PSIS-A2) - PLAN VIEW
(NOT TO SCALE)



SECTION DETAIL

USE 2 CULTEC RECHARGER 150XL HEAVY DUTY CHAMBERS

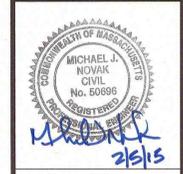
PROVIDE MINIMUM 4 FEET SEPARATION BETWEEN THE BOTTOM OF THE 6 INCH WASHED STONE LAYER AND THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE OR LEDGE.

PROPOSED SUBSURFACE INFILTRATION SYSTEM-A2 (PSIS-A2) - CROSS SECTION
(NOT TO SCALE)

NOTE:
CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL, FILL MATERIAL AND OTHER IMPERVIOUS LAYERS WITHIN THE FOOTPRINT (AND TWO (2) FEET BEYOND) OF THE PROPOSED SUBSURFACE INFILTRATION SYSTEM. EXCAVATION SHALL BE FILLED WITH MATERIAL SPECIFIED IN SECTION 15.255 (3) OF THE STATE ENVIRONMENTAL CODE, TITLE 5 UP TO THE PROPOSED ELEVATION OF THE WASHED STONE.

NOTE: FOR DETAILS NOT DEPICTED HEREON, REFER TO STANDARD DETAILS AS PROVIDED BY THE TOWN OF LEXINGTON ENGINEERING DEPARTMENT.

WILLARD CIRCLE
(ASSESSORS MAP 34 - LOTS 34A, 35, 36A & 36B)



DETAIL SHEET
LOCATED IN
LEXINGTON, MASSACHUSETTS
(MIDDLESEX COUNTY)

PREPARED FOR
SHELDON CORP.
SCALE: AS NOTED DATE: NOVEMBER 17, 2014

MERIDIAN ASSOCIATES

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SHEET No. 12 OF 12 PROJECT No. 3899-1

NO.	DATE	DESCRIPTION	BY	CHK'D
1	2/5/15	NO REVISIONS TO THIS SHEET	MAC	M/JN

DWG. No. 3899_DEF-DET