

# Lexington Friends of the Arts dba Munroe Center for the Arts

Article 8 b) Munroe Center for the  
Arts Window Study

# Our relationship with the Town

- The Town of Lexington owns the old Munroe school building.
- LFA pays rent to the Town for its use.
- LFA is responsible for general upkeep.
- The license agreement between LFA and the Town does not assign responsibility for capital projects to either party.
- Capital projects are bid through and overseen by the Town, *even when paid for by LFA.*

## Munroe Building



- Not shown: all 117 windows.
- Typical size: (One inch less than) 4' wide by 6' 3" tall with 3-pane operable transom above.

# Condition of Windows

- *Unsafe* and difficult to operate:
  - heavy bottom sashes that can fall on a hand or wrist because of broken ropes or missing pulleys;
  - storms that fall without warning.
- Energy inefficient air infiltration:
  - misaligned and/or damaged jambs;
  - top sashes that won't stay up;
  - bent or missing zinc weather-stripping;
  - loose storm windows;
  - crumbling glazing;
  - cracked panes.



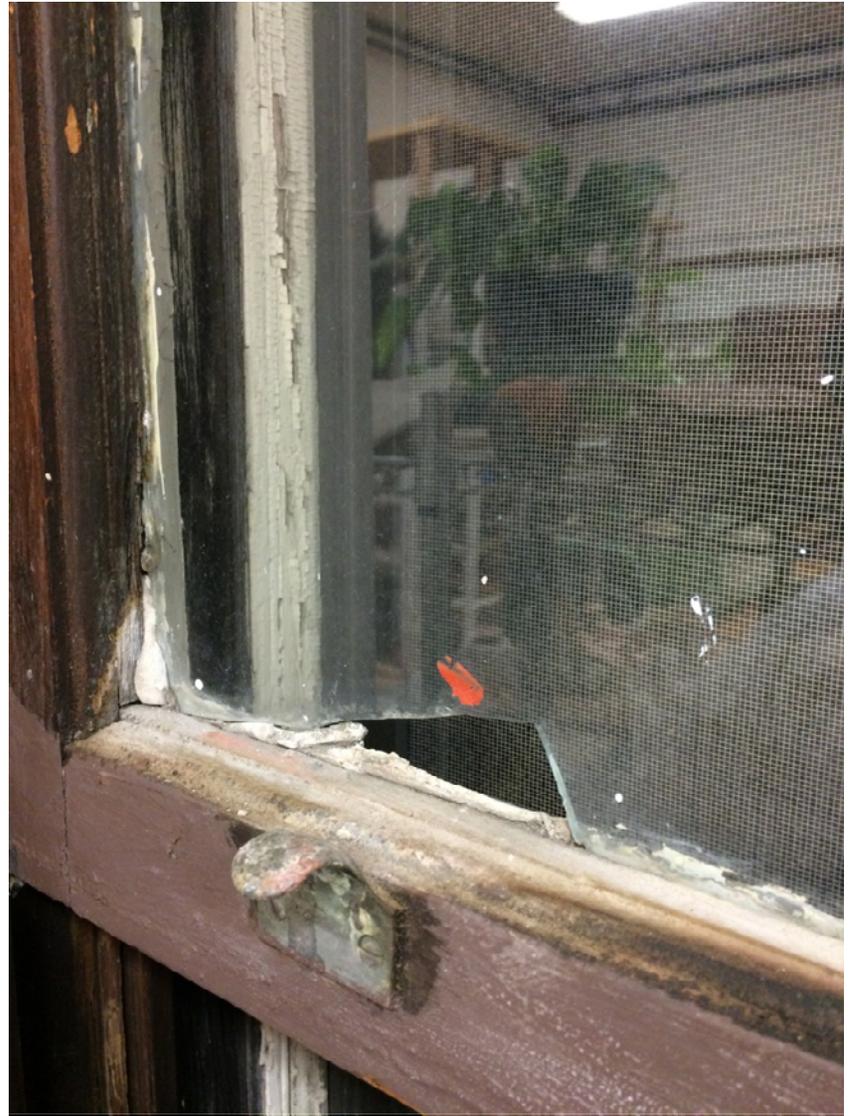
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# Options

**Replacement**—Remove old windows and replace with new wood windows.

- Characteristics:
  - double pane glass;
  - no need for storm windows;
  - may tilt in for cleaning; and
  - less durability than original wood.
- An unknown: the condition of wall cavities and framing.

**Renovation**—Remove and restore original sashes.

- Also
  - replace storm windows;
  - fill exterior voids;
  - replace interlocking zinc weatherstripping;
  - replace ropes with chains; and
  - repair or replace other hardware.
- Characteristic:
  - *repairable*—much of original wood intact and likely to last longer than the wood in replacement windows.
- An unknown: the extent of jamb repair required.

## What We Did Before Asking CPC to Fund this Study—I

- Focusing primarily on renovation, we sought an estimate from a well-regarded window-restoration specialist, who said the average cost per window would be somewhere between two levels of work:
  - “renovation” at \$875/window; and
  - “restoration” at \$1,400/window (rot repair, complete deleading & consequent additional priming).
- Four caveats to the response:
  - Would need a general contractor for exterior work.
  - Estimates do not meet the “prevailing wage” standard.
  - Would require additional carpentry for significant work on jambs.
  - Not clear how much additional cost would be involved for parts, such as new glass, pulley hardware, etc.

## What We Did Before Asking CPC to Fund this Study—II

- We then contacted a restoration contractor recommended by the window-restoration specialist. Although promised, we never received an estimate from him.
- He did say, however, that the interior work: jambs, etc. would be beyond the scope of his estimate.
- If you think we weren't over our heads and in need of some help by this time, I have not been clear.

# The Request

- This request would fund a study, administered by DPF, that
  - explores both the replacement and restoration options;
  - provides cost estimates for each;
  - makes a recommendation;
  - prepares plans suitable for bidding; and
  - lays the groundwork for a future request for CPA funding of the project.